

PRELIMINARY  
ENVIRONMENTAL  
CONTAMINATION AND  
GAS ASSESSMENT

November 2019  
J164174

BMF  
CONSTRUCTION  
35-65 Paramount Road  
and 99 Olympia Street,  
Tottenham, Victoria

C110348 : SJS

## Document Control

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## Executive Summary

Grencap Pty Ltd (Grencap) were engaged by BMF Construction (BMF) to undertake a Preliminary Environmental Contamination and Gas Risk Assessment at 35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria (the 'site').

The site comprised an approximate land area of 12,000 m<sup>2</sup> (12 ha) and is zoned as industrial 1 and 3 for land use.

Based on review of the historical certificates of title, from 1930 the site formed a portion of a larger property which was later subdivided in 1957 into the two properties which form the site. From 1947 the site was considered to have been used for commercial/industrial purposes, including felters, carpet manufacturing, woollen mills and the current industrial estate.

Based on aerial imagery, earth moving activity was visible onsite in the north western portion in 1982, and in the south eastern portion of the site in 2002. Importation of fill soils and disturbance from earthmoving machinery were visible in the southern portion in 2009. In 1956, large scale earthworks were visible on a property approximately 180 – 200m to the north west of the site and was considered a potential quarry.

The infrastructure outlined in the historical property sewerage plans were consistent with the historical titles and confirmed the use of the site as a carpet manufacturing factory.

Information provided by the EPA indicated the site adjacent to the southern boundary was listed as an EPA priority site, two licensed sites were within 500 m of the site and there was one registered landfill within 500 m of the site, with no information about the waste type or closure dates available.

A summary of the site history information and associated risk of contamination is provided below.

Site Contamination Risk Rating					
Site	Site History Results				Potential Contamination Risk Rating (High, Medium or Low)
	Aerial Photographs	Historical Titles	Public Records	Geology and Hydrogeology	
35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria	Vacant land until 1956. Potential quarrying located north/north west of the site. Imported fill onsite from 1970.	Commercial/ industrial from 1947 (Federal Felters Pty Ltd)	Not listed on the PSR. 3 properties located within 500 m of the site are listed on the PSR. 2 properties with an EPA licence within 500 m of site. 2 potential historical landfills/quarries within 500 m of site	Newer volcanics (fractured basalt). Groundwater at 5 – 10 m bgl	High

As per the guidance provided in the *General Practice Note*, for a site that has a high potential for contamination.

Based on the results of the preliminary environmental contamination and gas assessment, Grencap recommend:

- Should soils require offsite disposal as part of potential future developments, sampling and laboratory analysis would be required to comply with EPA Victoria offsite disposal requirements.
- The scope of the PECA & LFGRA did not include soil, groundwater or gas assessment. Further investigation is recommended to characterise the conditions at the site;
- In accordance with the EPA Victoria publication 1625 – Assessing Planning Proposals Near Landfills, a landfill gas risk assessment should be conducted by a 'suitably qualified professional' and;

- Should soil excavation works be required for the proposed site redevelopment, as a precautionary measure a soil management plan, including an unexpected finds procedure, should be developed for proposed development of the site to provide measures to minimise risks to site workers and the environment associated with potentially contaminated soils that may be encountered during the works.
- Due to the age of the structures at the site (pre 1990s), should BMF propose to demolish portions or whole buildings/infrastructure at the site as part of the redevelopment, Greencap recommend a Division 6 survey be undertaken on existing structures at the site to assess for potential hazardous substances within the building materials, e.g. asbestos.

# Preliminary Environmental Contamination and Gas Assessment

## BMF Construction

35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria

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## Statement of Limitations

This report has been prepared in accordance with the agreement between BMF Construction and Grencap Pty Ltd.

Within the limitations of the agreed upon scope of services, this work has been undertaken and performed in a professional manner, in accordance with generally accepted practices, using a degree of skill and care ordinarily exercised by members of its profession and consulting practice. No other warranty, expressed or implied, is made.

This report is solely for the use of BMF Construction and any reliance on this report by third parties shall be at such party's sole risk and may not contain sufficient information for purposes of other parties or for other uses. This report shall only be presented in full and may not be used to support any other objective than those set out in the report, except where written approval with comments are provided by Grencap Pty Ltd.

## Reliance on Information Provided by Others

Whilst the techniques used in the assessment are in accordance with recognised industry standards, the investigations also rely on information provided to Grencap Pty Ltd by third parties. Naturally, Grencap Pty Ltd cannot guarantee completeness or accuracy of any descriptions or conclusions based on information supplied to it during site surveys, visits and interviews. The extent of risk BMF Construction wishes to accept is something which BMF Construction must determine and accordingly, BMF Construction waives any claim against Grencap Pty Ltd and agrees to defend, indemnify and hold Grencap Pty Ltd harmless from any claim or liability for injury or loss allegedly arising from errors, omissions or inaccuracies in documents or other information provided to Grencap Pty Ltd by BMF Construction.

## Recommendations for Further Study

Grencap Pty Ltd preliminary findings which may result from this investigation/study may require verification through further analytical testing programs. The final decision to conduct additional investigative activities will be dependent upon BMF Construction's assessment of the business risks involved. BMF Construction agrees to hold Grencap Pty Ltd harmless from any claim, losses or damages arising out of BMF Construction's rejection of any additional work suggested by Grencap Pty Ltd as a result of the work performed hereunder.

This report was prepared in November 2019 and is based on conditions encountered and information reviewed at the time of preparation. Grencap Pty Ltd disclaims responsibility for any changes that may have occurred after this time.

## 1 Introduction

Grencap Pty Ltd (Grencap) was engaged by BMF Construction (BMF) to undertake a Preliminary Environmental Contamination and Gas Risk Assessment (PECA & PLFGRA) at 35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria ('the site').

A figure depicting the site location has been included as **Figure 1** in the **Figures** section of this report.

## 2 Background

The site comprised an approximate land area of 12,000 m<sup>2</sup> (12 ha) and is zoned as industrial 1 and 3 for land use.

Grencap understand that BMF are preparing a town planning application for 5 warehouses at the site.

As a requirement by the council, BMF has requested that Grencap undertake a PECA and PLFGRA to assess the potential for soil, groundwater and landfill gas contamination at the site that may present a potential environmental liability.

## 3 Project Objectives

The objective of the Preliminary Environmental Contamination Assessment is to reduce the uncertainty associated with the potential for soil and/or groundwater contamination that may exist as a result of past activities and/or the environmental setting of the site that may represent a potential liability.

The objective of the Preliminary Landfill Gas Risk Assessment is to reduce the uncertainty associated with landfill gas risks at the site.

## 4 Project Scope

As part of the assessment Grencap undertook the following:

- Site inspection;
- Desktop site history assessment;
- Desktop landfill gas assessment; and
- Preparation of this Preliminary Environmental Contamination and Landfill Gas Assessment report.

## 5 Site Information

General site information is provided in Table 1. Copies of the Planning Property Reports are provided in Appendix A.

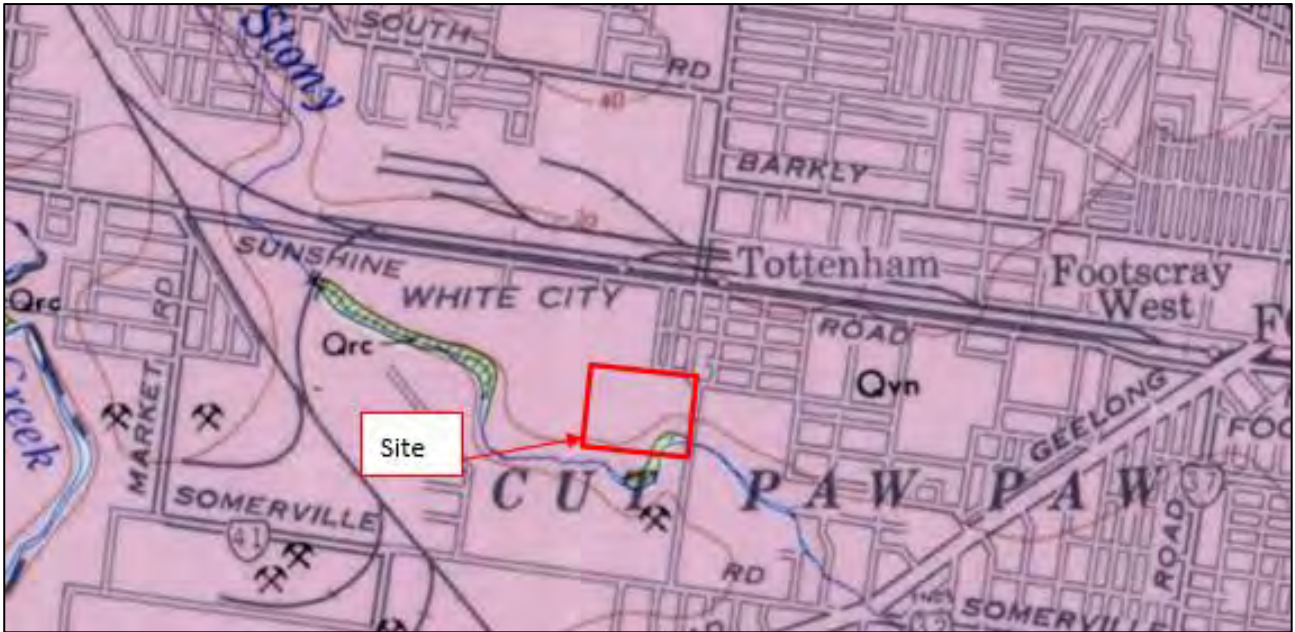
Table 1: Site Information		
Site Address:	35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria	
Property Identification:	<b>Lot and Plan:</b> <ul style="list-style-type: none"> <li>• Lot 1 TP806244</li> <li>• Lot 1 TP806261</li> <li>• Lot 2 TP806261</li> <li>• Lot 1 TP806328</li> <li>• Lot 1 TP806290</li> </ul>	
Approximate Area:	12 ha	
Current Zoning:	<b>Planning Zones:</b> <ul style="list-style-type: none"> <li>• Industrial 1 Zone (IN1Z)</li> <li>• Industrial 3 Zone (IN3Z)</li> </ul> <b>Planning overlays:</b> <ul style="list-style-type: none"> <li>• Heritage Overlay (HO)</li> <li>• Land Subject to Inundation Overlay (LSIO)</li> <li>• Public Acquisition Overlay (PAO)</li> </ul> <b>Areas of Aboriginal Cultural Heritage Sensitivity</b> <ul style="list-style-type: none"> <li>• All or part of this property is an 'area of cultural heritage sensitivity'.</li> </ul>	
Current Site Use:	Commercial/industrial (warehousing and storage)	
Proposed Site Use:	Commercial/industrial (warehousing and storage)	
Potential Site Users:	Site workers	
Surrounding Site Use:	<b>North</b>	Commercial/industrial (D3 Group & Superior Hoists – Car Hoist Sales) Medium density residential
	<b>East</b>	Paramount Road, commercial/industrial (Polaris off road vehicles and C.O.L.S Pots)
	<b>South</b>	Stony Creek, commercial/industrial (shipping container storage)
	<b>West</b>	Olympia Street, Commercial/industrial (Olex – electrical cable, wire wholesalers and manufacturers)
Surface Water Bodies:	<b>Stony Creek</b>	South east portion of site
	<b>Kororoit Creek</b>	Approximately 2.0 km south west
	<b>Glengala Drain</b>	Approximately 2.1 km west
	<b>Maribyrrnong River</b>	Approximately 2.9 km north and 3.4 km east
	<b>Port Phillip Bay</b>	Approximately 6.2 km south east

### 5.1 Site Geology

Regional geological information for the site was obtained from the 1:63,360 scale Melbourne Geological Map Sheet Part 7822 Zone 55 (1974) prepared by the Geological Survey of Victoria.

Review of the Melbourne Map Sheet found that the site is generally underlain by Quaternary aged Newer Volcanics and comprised olivine basalt, minor limburgite, trachy-andesite, scoria, thin interbedded sand, clay and tuff. The south eastern portion of the site along Stony Creek is underlain by colluvium and minor slump deposits: poorly sorted gravel, sand; sand silt.

An extract of the geological map is provided in **Extract 1**.



Extract 1: Extract from Geological Survey of Victoria Geological Map Sheet Part 7822 Zone 55. (Scale 1:63,360) Melbourne, 1974.

Legend	
Qvn	Olivine basalt, olivine labradorite basalt, dark to light grey, coarsely vesicular, minor interbedded silty sand and baked soils
Qrc	Colluvium and minor slump deposits: poorly sorted gravel, sand; sand silt
	Quarry

It was noted that a quarry was listed south of Stony Creek (south of site), two quarries immediately south of Somerville Road (south west of site) and two quarries on either side of Market Road (west of site).

### 5.1.1 Acid Sulfate Soils

Greencap undertook a review of the Commonwealth Scientific and Industrial Research Organisation (CSIRO) Australian Soil Resource Information System (ASRIS) Coastal Acid Sulfate Soils Distribution Mapping (June, 2014) to assess the potential for the site to be located in an area mapped as having the potential for coastal acid sulfate soils (CASS).

Review of the map data on 7 November 2019 indicated that the site was located in an area of extremely low probability for the occurrence of acid sulfate soils.

### 5.2 Site Topography

Based on the site inspection and topographical maps, the site was relatively flat with a slight downward slope towards the south east.

### 5.3 Site Hydrogeology

#### 5.3.1 Regional Groundwater Bore Search

Review of the Visualising Victoria's Groundwater (VVG) portal database (7 November 2019) found 59 registered groundwater bores within a 1 km radius of the site.

The data indicated that the bores were used for a combination of observation (22), groundwater investigation (8) and domestic and/or stock (1). The remaining 28 bores did not have a listed use.

The depth of the registered groundwater bores ranged from 3 m to 44 m below ground level (bgl).

The closest registered groundwater bore (bore ID WRK963897) was located approximately 6 m east of the site. The bore was reportedly installed to a depth of 6 m bgl and had groundwater investigation as its listed use.

A copy of the data obtained for surrounding bores is included in **Appendix B**.

#### 5.3.2 Groundwater Resource Report

Review of the Department of Environment, Land, Water and Planning (DELWP) Groundwater Resource Report (updated 11 January 2019) for the area (grid reference: Easting: 2487609 and Northing: 2410770) indicated that the site is located within the West Port Phillip Bay groundwater catchment and is underlain by:

- Upper Tertiary / Quaternary Basalt (UTB) (fractured rock) to a depth of 13 m;
- Upper Tertiary Aquifer (fluvial) sand, gravel and clay from 13 – 37 m;
- Lower Mid-Tertiary Aquitard clay, silt, siltstone (fractured rock), marl (fractured rock), minor sand from 37 – 57 m;
- Lower Tertiary Aquifer sand, gravel, clay and silt, minor coal from 57 – 139 m; and
- Mesozoic and Palaeozoic Bedrock (basement) sedimentary (fractured rock): Sandstone, siltstone, mudstone, shale. Igneous (fractured rock): includes volcanics, granites, granodiorites from 139 – 339 m.

The depth to the water table was reportedly 5 to 10 m bgl. The expected groundwater salinity of the UTB was reported to be 1,001 – 3,500 milligrams per litre (mg/L) total dissolved solids (TDS). The groundwater based on the above TDS would therefore be classified under Segment A2 of the Victorian Government State Environment Protection Policy (Waters) (Water SEPP), Gazette no. S 499, October 2018.

For Segment A2 groundwater, the following beneficial uses require protection:

- Water dependent ecosystems and species;
- Potable water supply (acceptable);
- Potable mineral water supply;
- Agriculture and irrigation (irrigation)
- Agriculture and irrigation (stock watering);
- Water based recreation (primary contact recreation);
- Traditional Owner cultural values;
- Buildings and structures; and
- Geothermal properties.

A copy of the Groundwater Resource Report is provided in **Appendix C**.

### 5.3.3 Regional GQRUZ Search

Greencap undertook a review of the DEWLP *Victoria Unearthed* map to review groundwater quality restricted use zones (GQRUZ) in the area. Based on the review, 8 GQRUZ were reported to be located within a 2 km radius of the site. A summary of surrounding GQRUZ is provided in Table 2.

A copy of the GQRUZ maps are provided in **Appendix D**.

Proximity to Site	CARMs and Address	Restrictions on Protected Beneficial Uses	Site History
820 m east	69722-1 41 Robbs Road, West Footscray	Drinking water, livestock water supply, irrigation of crops (including domestic gardens and parks), water used for recreational purposes.	Textile manufacturer/operations
940 m north west	66892-1 2a Beachley Street, Braybrook	Drinking water, livestock water supply, irrigation of crops (including domestic gardens and parks), water used for recreational purposes, water used for industrial purposes	Defence works
1.0 km north	43357-1 Corner Ashley Street and Alma Street, West Footscray, Former Shell Diloma Service Station	Drinking water, livestock water supply, irrigation of crops (including domestic gardens and parks), water used for recreational purposes.	Service station
1.4 km South west	60499-1 11 Millers Road, Brooklyn	Drinking water, irrigation of crops (including domestic gardens and parks), water used for recreational purposes.	Manufacturing
1.5 km South east	64443-2 341 -351 Francis Street, Yarraville	Drinking water, livestock water supply, irrigation of crops (including domestic gardens and parks), water used for recreational purposes, water used for industrial purposes	Textile manufacturer/operations
1.6 km east	52804-1 68 Cross Street, West Footscray	Drinking water, irrigation of crops (including domestic gardens and parks), water used for recreational purposes.	Tyre manufacturing
1.8 km east	52806-2 12-36 Cross Street, Footscray	Drinking water, irrigation of crops (including domestic gardens and parks), water used for recreational purposes.	Tyre Manufacturing
1.8 km east	63188-1 52-54 Cross Street, Footscray	Drinking water, livestock water supply, irrigation of crops (including domestic gardens and parks), water used for recreational purposes, water used for industrial purposes	Foundry

### 5.3.4 Regional Groundwater Flow

Based on the topography of the site and surrounding land and the location of surrounding surface water bodies, the inferred net regional groundwater flow direction was considered likely to be towards Stony Creek to the south east of the site.

## 6 Site Inspection

A site inspection was undertaken on 22 October 2019. A site layout plan depicting site features is included in **Figure 2** in the **Figures** section of this report. Photographs from the site inspection are provided in **Appendix E**. During the site inspection the following observations were noted:

- The surface of the site was predominantly concrete;
- The entrance of the site was in the north east portion of the site, on Paramount Road;
- The northern boundary of the site was bound by a metal mesh fence;
- An internal road ran parallel with the northern boundary fence and western boundary fence;
- Hydrant water service lines was present along the northern boundary;
- The northern portion of the site comprised buildings (office space and warehousing), the internal roadway and car parks;
- A hard stand was visible in the centre portion of the site (immediately south of the buildings);
- Minimal landscaping (including grass and shrubbery) was visible in the north east portion of the site;
- Disused sheds/buildings were visible in the eastern portion of the site which included intermediate bulk containers (IBCs);
- The southern portion of the site comprised grass surface covering;
- Stony Creek was present in the south east corner of the site;
- Internal stormwater dam was present in the south west corner of the site and two 4,000 L tanks (for fire services) north of the dam;
- A cluster of basalt boulders were visible on the surface of the south western portion of the site;
- A metal mesh fence separated 99 Olympia Street and 35-65 Paramount Road properties;
- The hardstand area comprised storage of broken wooden storage crates, wooden pallets, metal frames and pellets of Cesagum® Locust Bean Gym (western portion);
- A stormwater system, including stormwater pits) were visible across the hardstand area;
- The north eastern building comprised a storage area which included concrete cores, metal bollards and open IBCs; and
- The south eastern portion was boarded with temporary fencing and comprised the storage of construction materials and soil stockpiles.

## 7 Site History Assessment

A review of available site history information undertaken at the time of reporting is provided in the following section.

### 7.1 Previous Assessments

The following previous site investigations were available for review:

- A.S James Pty Limited, Geotechnical Investigation, Proposed Office, Warehouse and Storage Container Yard, 35-65 Paramount Road, Tottenham, December 2014 (ref: 116349)
- Archaeology at Tardis, Cultural Heritage Statutory Obligations, 35-65 Paramount Road and 99 Olympia Street, Tottenham, August 2017 (ref: 3583.100)
- Trethowan Architecture, 35-65 Paramount Road and 99 Olympia St, Tottenham – Preliminary Heritage Advice, March 2019

### **7.1.1 A.S James Pty Limited, Geotechnical Investigation, Proposed Office, Warehouse and Storage Container Yard, 35-65 Paramount Road, Tottenham, December 2014**

A.S James Pty Ltd (A.S James) undertook a geotechnical investigation at the site in December 2014, to forecast foundation conditions and recommended design parameters for the proposed structures and associated pavements associated with site redevelopment.

The site was considered to underlain by significantly thick fill (approximately 1.3-2.6m), however evidence of filling history/detail was unknown, and it was assumed that it had been placed under uncontrolled conditions.

The fill comprised silty clay with basaltic gravels and was underlain by a layer of firm to stiff silty clay of high plasticity. The clay encountered within each of the boreholes was derived from the weathering of the underlying basalt.

### **7.1.2 Archaeology at Tardis, Cultural Heritage Statutory Obligations, 35-65 Paramount Road and 99 Olympia Street, Tottenham, August 2017**

Archaeology at Tardis (Tardis) undertook a cultural heritage statutory obligations investigation at the site in August 2017.

It was noted in the 1850s bluestone quarrying was occurring in the area of Braybrook and Footscray including along the banks of Stony Creek for building materials and as ballast for ships.

Other observations noted within the investigation were, the beginning of industrialisation of the surrounding area in 1956 and the modification of Stony Creek along Paramount Road. In 2009, the southern parts of the activity area were subject to import of fill and disturbance from earthmoving machinery

### **7.1.3 Trethowan Architecture, 35-65 Paramount Road and 99 Olympia St, Tottenham – Preliminary Heritage Advice, March 2019**

Trethowan Architecture (Trethowan) undertook a preliminary heritage advice investigation at the site. The investigation explored the history of the site, where the site was first acquired by Felt and Textiles of Australia Ltd, a prominent carpet and textile manufacturer conglomerate in 1947.

In 1948, the property was divided into three lots: Lot 1 was retained by Federal Felters; Lot 2 was transferred to British Australian Carpet Manufacturing Co Ltd (BACM); and Lot 3, which has a frontage to Paramount Road, was transferred to Daylesford Woollen and Worsted Mills Pty Ltd. All these companies were subsidiaries of Felt & Textiles; BACM served as its major manufacturer of Wilton and Axminster carpets, whereas Federal Felters and Daylesford were the producers of a wide range of woollen and felted cloth and textile products. In 1956, Lot 3, the site of Daylesford Woollen and Worsted Mills, was transferred to BACM, who remained proprietor and main occupant of the subject site until 1998.

## 7.2 Historical Title Information

Greencap undertook a historical search of available land titles at Land Victoria in order to assess the potential for site contamination to exist as a result of historical land uses.

A summary of the title information is provided in Table 3.

Table 3: Summary of Historical Certificates of Title				
	Volume/ Folio	Date	Owner/tenant, Listed occupation	Implied Use
Site	05647 / 269	02/04/1930	Eliza Maria Bunting, married woman	Unknown
		25/06/1947	Federal Felters Pty Ltd	Commercial/ industrial
	07043 / 490	25/06/1947	Federal Felters Pty Ltd	Commercial/ industrial
		09/07/1948	British Australian Carpet Manufacturing Company Pty Ltd and Daylesford Woollen and Worsted Mills Pty Ltd	Commercial/ industrial (manufacturing)
35 – 65 Paramount Road, Tottenham	07161 / 113	04/05/2007	Paramount Victoria Pty Ltd	Commercial/ industrial
	07161 / 115	04/05/2007	Paramount Victoria Pty Ltd	Commercial/ industrial
	07557 / 004	04/05/2007	Paramount Victoria Pty Ltd	Commercial/ industrial
99 Olympia Street, Tottenham	08351 / 059	9/7/1957	Felt and Textiles of Australia Ltd	Commercial/ industrial
	08955 / 891	04/05/2007	Paramount Victoria Pty Ltd	Commercial/ industrial

Various easements and caveats were noted in the historical certificates of title. A full assessment of these encumbrances was considered to be outside the scope of this investigation.

Based on review of the historical certificates of title, from 1930 the site formed a portion of a larger property which was later subdivided in 1957 into the two properties which form the site. From 1947 the site was considered to have been used for commercial/industrial purposes, including felters, carpet manufacturing, woollen mills and the current industrial estate.

Copies of historical title documents are provided in **Appendix F**.

### 7.3 Historical Aerial Photographs

A review of historical aerial photographs of the site dating back to the 1951 was undertaken as part of this assessment. A summary of the observations made from these photographs is provided in Table 4.

Table 4: Summary of Aerial Photograph Observations	
Year	Observations
1945	<p><b>Onsite:</b> The site appeared to be vacant land. Stony Creek was visible in the south east portion of the site.</p> <p><b>Offsite:</b> The surrounding properties appeared to be primarily vacant with the exception of the property adjacent to the north east portion of the site (residential properties along Paramount Road) and the property adjacent to the western boundary in the north western portion of the site (a small square building and rectangular shed).</p>
1956	<p><b>Onsite:</b> The western portion of the site (99 Olympia Street) appeared to comprise vacant land. The eastern portion of the site (35-65 Paramount Road) appeared to comprise three structures. A large warehouse was visible along the northern boundary of the site, a smaller warehouse structure was visible along the eastern boundary and a small shed was visible to the south of the large warehouse. An internal roadway appeared visible from the eastern portion of the northern boundary to the southern small shed and across the northern boundary from west to east. Entrance to the site appeared to be at Sredna Street.</p> <p><b>Offsite:</b> Paramount Road appeared to be constructed, and residential properties appeared visible to the north east of the site. A warehouse was visible to the central north of the site and two warehouses were visible directly adjacent to the north eastern portion of the site (east of Paramount Road). Large scale earthworks appeared visible to the north west of the site.</p>
1970	<p><b>Onsite:</b> The northern warehouse appeared to have been extended towards the west. Landscaping was visible in the north eastern portion. The internal roadway had been extended from east to west along the southern portion of the large warehouse. Minor earthworks appeared visible in the north west portion of the site.</p> <p><b>Offsite:</b> Further commercial/industrial development was visible directly adjacent to the western boundary, to the north, to the south and to the east of the site. The property to the north east appeared to have vegetation regrowth over the previously noted earthworks.</p>
1982	<p><b>Onsite:</b> There appeared to be relatively little change onsite from the 1970 aerial photograph, except for the earthworks in the western portion and south eastern portion of the site.</p> <p><b>Offsite:</b> There appeared to be relatively little change from the 1970 aerial photograph.</p>
2002	<p><b>Onsite:</b> The eastern portion of the site appeared to comprise a large warehouse building. A tank appeared to be visible to the south of the new building. The internal roadway had been extended along the western boundary and the southern side of the buildings. Earthmoving activities appeared visible in the south east portion of the site (adjacent to Stony Creek).</p> <p><b>Offsite:</b> There appeared to be relatively little change from the 1982 aerial photograph, except for the property directly adjacent to the southern boundary of the site which comprised storage of shipping containers and an increase in vegetation across the property to the north west.</p>
2009	<p><b>Onsite:</b> The hardstand area appeared to have been extended towards the east and south and the western building gained a canopy extension in the southern portion. Three circular tanks were visible in the south western corner of the site, and the stormwater dam appeared formed. The vegetated area in the southern portion of the site comprised additional soil filling. The smaller in the south eastern portion of the site was no longer visible.</p> <p><b>Offsite:</b> There appeared to be an increase in commercial/industrial development in the area. The property to the north west appeared to no longer be vegetated and comprised a large building/warehouse and storage containers.</p>
2019	<p><b>Onsite:</b> There appeared to be relatively little change onsite from the 2009 aerial photograph, except for the fencing separating 99 Olympia Road and 35-65 Paramount Round properties. Only two tanks were still visible in the south western portion and dam appeared to be filled with water.</p> <p><b>Offsite:</b> The property to the south of Stony Creek (south-centre of site) appeared to comprise dark soils (no longer vegetated). The property to the south west of the site (south of Stony Creek) appeared to have undergone severe damage, as the building appeared to be semi-demolished and the centre of the property appeared to be burnt.</p>

Copies of historical aerial photographs are provided as **Appendix G**.

## 7.4 Historical Business Listing

Greencap undertook a review of the DEWLP *Victoria Unearthed* map to review historical business listings in the area. There were no historical businesses listed at the site, however it was noted that in Sands & McDougall (1915) Standard Quarries Ltd of Quarries Street, Footscray was listed within 500 m, north west of the site. The property boundary was not identified.

## 7.5 Melbourne Metropolitan Board of Works Search

Historical plans for the site were sought from the Melbourne Metropolitan Board of Works (MMBW) through the State Library of Victoria. No information was available at the time of reporting for the site however the property to the west of site was listed as 'Melbourne Gun Club'.

### 7.5.1 Historical Property Sewerage Plans

Greencap obtained historical property sewerage plans for the site from City West Water. The plans indicated the following:

- Plan Number 233028, (not dated) indicated the presence of a neutralising pit, cooling pit, gauging chamber, sump and waste drainage within the eastern building on site, along Paramount Road ('the dye house') and a cooling pit, inspection chamber, gauging chamber and gas check man hole from the dye house, across the south eastern portion of site (through Stony Creek).
- Drainage plan number 241376, dated June 1980, indicated the presence of multiple silt pits, collection pits and a machine pit within the northern central building on site.

Copies of the plans are provided in **Appendix H**.

### 7.5.2 Services to the Property

A review of Dial Before You Dig plans in October 2018 found the following underground services in the vicinity of the site:

- Drainage pipeline within Stony Creek, across Paramount Road (adjacent to the south east portion of site);
- Melbourne Water sewer buffer is present south of Stony Creek, on the south east portion of the site;
- Water supply mains and abandoned water supply main was present along Paramount Road, to the east of the site;
- Water main at the northern boundary (Sredna Street);
- Sewer lines ran adjacent to the northern boundary of 35-65 Paramount Road parcel;
- Sewer lines were present in the south eastern corner of site, south of Stony Creek; and
- Telecommunication cables were onsite, adjacent to the northern boundary and Sredna Street.

Copies of plans are included in **Appendix I**.

## 7.6 Priority Sites Register

Priority Sites are sites for which the Environment Protection Authority (EPA) Victoria has issued a Clean-up Notice pursuant to Section 62A or a Pollution Abatement Notice pursuant to Sections 31A or 31B (relevant to land and/or groundwater) of the Victorian *Environment Protection Act 1970*. Typically, these are sites where pollution of land and/or groundwater presents an unacceptable risk to human health or to the environment.

EPA maintains the Priority Sites Register as a listing of priority sites and the register is available to the public. It is important to note that the Priority Sites Register is not a listing of all contaminated sites in Victoria, nor is it a list of all contaminated sites of which EPA has knowledge. A search of the EPA Victoria Priority Sites Register (updated 30 September 2019) found the site was not listed on the register.

Greencap undertook a review of the DEWLP *Victoria Unearthed* map for EPA Priority Sites in the area. Based on the review, 5 Priority Sites were reported to be located within a 1 km radius of the site. A summary of surrounding Priority Sites is provided in Table 5. A copy of the Priority Sites Register is provided as **Appendix J**.

Proximity to Site	Address	Issue	Notice Number
Adjacent to the southern boundary	Lot 2, 102 Olympia Street, Tottenham	Current industrial site. Requires assessment and/or clean up. Industrial waste has been dumped at the site. Requires assessment and/or clean up.	90010365 90010366
115 m south	420 Somerville Road, Tottenham	Former industrial site. Requires assessment and/or clean up	90009472
420 m west	1 Amanda Road, Tottenham	Current chemical storage facility. Requires ongoing management	90009424
815 m south west	44-60 McDonald Road, Brooklyn	Former landfill. Requires ongoing management	90003591
840 m south	550 Geelong Road, Tottenham	Former industrial site. requires assessment and/or clean up Illegal dumping. requires assessment and/or clean up	90002056 90004455

### 7.7 EPA Licenses

Greencap undertook a review of the DEWLP *Victoria Unearthed* map to review EPA Licenses in the area. Based on the review, 5 Licensed Sites were reported to be located within a 1 km radius of the site. A summary of surrounding Licensed Sites is provided in Table 6.

Proximity to Site	Address	Licence Permits	Licence Number
400 m west	215 Sunshine Road, Tottenham	The washing of ISO tankers and treatment of the wash water prior to its discharge to sewer under a trade waste agreement	103408
400 m west	1 Amanda Road, Tottenham	Washing bulk transport containers and stores prescribed industrial waste.	11611
535 m south	425 Somerville Road, Tottenham	Manufactures edible oil, feedstock and vegetable meals.	1175
840 m north east	1 Roberts Street, West Footscray	Operates an oil and fat processing works.	2314
860 m south west	30 Industry Park Drive, Brooklyn	Operates an abattoir that processes beef cattle and sheep, and a rendering facility that manufacturers edible and non-edible products from mixed abattoirs material (fat, bone and blood) and recovers effluent treatment plant sludge. odours are treated using a biofilter system	9182

### 7.8 Victorian Landfill Register

Greencap undertook a review of the DEWLP *Victoria Unearthed* map to review registered landfills in the area. Based on the review, 3 registered landfills were reported to be located within a 1 km radius of the site. A summary of surrounding registered landfills is provided in Table 7.

Proximity to Site	Address	Waste Type	Operating Status
415 m west	5-9 Justin Road, Tottenham	Not available	Closed (no date available)
550 m south west	1 Alick Road Tottenham	Solid inert waste	Closed (1994)
860 m south west	82 McDonald Road, Brooklyn	Not available	Closed (no date available)

## 7.9 Review of Surrounding Completed Environmental Audits

The Environmental Audit System was established in Victoria by the EPA as a means by which planning authorities, site owners, purchasers and others are provided with assurance regarding the condition of the property and its suitability for use, frequently in the context of site redevelopment. Each audit undertaken under section 53X (Victorian *Environment Protection Act 1970* (as amended)) will have a certificate or statement attached and is added to a list of audits which are publicly available. It is important to note that the list is not a register of contaminated or clean sites but rather is a list of properties that have been found to be suitable (in some cases subject to certain conditions) for the proposed land use.

A review of the publicly available EPA Victoria Statutory Environmental Audit reports found that no audits had been completed at the site, however three audits had been completed within 1 km of the site), summarised in Table 8.

Table 8: Summary of Surrounding Environmental Audits			
CARMs and Address	Proximity to Site	Certificate/ Statement (Date)	Comment
66680-1 Lot 13A Paramount Road, West Footscray	505 m south east	Statement (18/06/2010)	The property historically operated as a fill site in the 1970s, including fill soil, brick, concrete, foundry sand and minor glass slag was excavated and removed from the property in 2006. Groundwater flow direction was reported to be south east. Groundwater was considered to be contaminated with benzo(a)pyrene, 1,2 dichloroethane, carbon tetrachloroethene, trichloromethane (chloroform), tetrachloroethene, trichloroethene and total petroleum hydrocarbons. While there was no significant vapour risk to residential occupants, the groundwater was not suitable for use.
39620-1 17 Lae Street, West Footscray	640 m south east	Statement (04/11/1999)	Based on the site inspection and analytical results, the assessor considered no significant hindrance to the use of the site for its proposed use.
60653-4 454-460 Somerville Road, Brooklyn	865 m south west	Statement (30/07/2014)	Historically the property was used as a major chemical manufacturing plant which produced pharmaceuticals, plastics, resins, phenols including chlorinated phenols, styrene, polystyrene and polyester resins. Also, historic quarrying and landfill operations. Surrounding land use was listed as industrial including former landfills and railway reserve. Groundwater flow direction was reported to be regionally south west to south east, with the average depth to groundwater, approximately 10 m. Further work or requirements noted were: <ul style="list-style-type: none"> <li>• groundwater remediation to the extent practicable</li> <li>• soil remediation or management</li> <li>• soil vapour remediation or management</li> <li>• asbestos containing material removal or management.</li> </ul>

## 7.10 Summary of Site History

Review of site history information found that the site and surrounding land was historically used for commercial/industrial land uses, including carpet and textile manufacturing.

Based on review of the historical certificates of title, from 1930 the site formed a portion of a larger property which was later subdivided in 1957 into the two properties which form the site. From 1947 the site was considered to have been used for commercial/industrial purposes, including felters, carpet manufacturing, woollen mills and the current industrial estate.

Based on aerial imagery, earth moving activity was visible onsite in the north western portion in 1982, and in the south eastern portion in 2002. Importation of fill soils and disturbance from earthmoving machinery were visible in the southern portion in 2009. In 1956, large scale earthworks were visible on a property to the north west of the site and was considered a potential quarry, as landfilling and quarrying were common in the region during this time.

The infrastructure outlined in the historical property sewerage plans were consistent with the historical titles and confirmed the use of the site as a carpet manufacturing factory.

Information provided by the EPA indicated the site adjacent to the southern boundary was listed as an EPA priority site, two licensed sites were within 500 m of the site and there was one registered landfill within 500 m of the site, with no information about the waste type or closure dates available.

## 8 Assessment of Surrounding Landfills

Landfills are an important part of Victoria's waste management infrastructure. However, they can also have impacts on the surrounding environment and community, including long after they have ceased operating. in particular:

- Operating landfills can potentially discharge landfill gas, offensive odours, noise, litter and dust.
- Closed landfills can potentially discharge landfill gas for more than 30 years after they last accept waste.

Buffers are used to separate landfills and 'sensitive land uses'. the default distances are the same for both operating and closed landfills, although the buffer for operating landfills is to manage the risk of both landfill gas and odour impacts, while the buffer for closed landfills is to manage the risk of landfill gas impacts only. it typically takes approximately 30 years for a former landfill to stabilise to the point where the potential for landfill gas migration ceases. The default buffer requirements for different types of landfills are as follows:

- Landfill accepting municipal (putrescible) waste – 500 m
- Landfill accepting solid inert waste – 200 m

EPA recommend that planning and responsible authorities use the following four step approach to determine if and what level of assessment of the risk of landfill gas impacts is required:

- Step 1: Assign a proposal score
- Step 2: Assign a landfill score
- Step 3: Use the proposal score and landfill score to calculate an overall score (proposal score x landfill score (landfill size + type + age))
- Step 4: Determine the level of assessment required

## 8.1 1 Quarry Road, Tottenham

Information provided by Council stated “there was a quarry at 1 Quarry Road, that was filled in, we do not know what it was filled with. The subject site is almost wholly within the 500 metre buffer of this quarry.”

GreenCap was able to determine the property boundary of 1 Quarry Road, was located approximately 180 m west of the site, directly adjacent to Stony Creek. The assessment score is summarised in Table 9:

Table 9: 1 Quarry Road, Tottenham Assessment Score	
<b>Proposal Score</b>	
Score	Proposal Type
1	Alterations to an existing building
2	Buildings and structures that exclude below ground structures, such as basements and lift shafts
3	Buildings and structures that include below ground structures, such as basements and lift shafts
<b>Landfill Score</b>	
Score	Landfill Size
1	Less than 50 m <sup>3</sup>
2	51 to 500,000 m <sup>3</sup>
3	500,001 to 2,000,000 m <sup>3</sup>
4	2,000,001 to 5,000,000 m <sup>3</sup>
5	More than 5,000,000 m <sup>3</sup> or unknown size
Score	Landfill Type
1	Soil
3	Solid inert waste
5	Putrescible waste or unknown type
Score	Landfill Age
1	More than 50 years since waste last placed
2	30 to 50 years since waste last placed
3	10 to 30 years since waste last placed
4	Fewer than 10 years since waste last placed
5	Operating landfill or unknown age

The overall score of 1 Quarry Road, Tottenham to the site is 24 – Require a landfill gas risk assessment.

GreenCap was unable to determine the size of the quarry or the landfill type, however based on aerial imagery, GreenCap was able to determine the age of the landfill was greater than 30 years.

## 8.2 5-9 Justin Road, Tottenham

Greencap undertook a review of the DEWLP *Victoria Unearthed* map to review registered landfills in the area. The property boundary of 5-9 Justin Road was located approximately 415 m west of the site, directly adjacent to Stony Creek. The assessment score is summarised in Table 10.

Table 10: 5-9 Justin Road, Tottenham Assessment Score	
<b>Proposal Score</b>	
Score	Proposal Type
1	Alterations to an existing building
2	Buildings and structures that exclude below ground structures, such as basements and lift shafts
3	Buildings and structures that include below ground structures, such as basements and lift shafts
<b>Landfill Score</b>	
Score	Landfill Size
1	Less than 50 m <sup>3</sup>
2	51 to 500,000 m <sup>3</sup>
3	500,001 to 2,000,000 m <sup>3</sup>
4	2,000,001 to 5,000,000 m <sup>3</sup>
5	More than 5,000,000 m <sup>3</sup> or unknown size
Score	Landfill Type
1	Soil
3	Solid inert waste
5	Putrescible waste or unknown type
Score	Landfill Age
1	More than 50 years since waste last placed
2	30 to 50 years since waste last placed
3	10 to 30 years since waste last placed
4	Fewer than 10 years since waste last placed
5	Operating landfill or unknown age

The overall score of 5-9 Justin Road, Tottenham to the site is 24 – Require a landfill gas risk assessment. Greencap was unable to determine the size of the quarry or the landfill type, however based on aerial imagery, Greencap was able to determine the age of the landfill was greater than 30 years.

## 9 Summary of Contaminants of Potential Concern

An outline of the contaminants of potential concern which may be associated with the land uses observed during the site inspection and based on review of available site history information is provided in Table 11.

Table 11: Summary of Contaminants of Potential Concern	
Land use	Potential Contaminants of Concern
<b>Potential Onsite Sources of Contamination</b>	
Imported fill	Metals, polycyclic aromatic hydrocarbons (PAH), total petroleum hydrocarbons (TPH), benzene, toluene, ethylbenzene, xylenes (BTEX), asbestos.
Felt and Textile Manufacturing	Solvents, TPH, metals, nitrate, ammonia, volatile organic compounds (VOCs), pH
<b>Potential Offsite Sources of Contamination</b>	
Landfills/Quarry	Asbestos, metals, PAH, methane and aesthetic debris
Manufacturing	Chlorinated solvents, TPH, metals, asbestos, nitrate, ammonia
Imported fill	Metals, PAH, asbestos

## 10 Site Contamination Risk Rating

A summary of the site history information and associated risk of contamination is provided in Table 12.

Table 12: Site Contamination Risk Rating					
Site	Site History Results				Potential Contamination Risk Rating (High, Medium of Low)
	Aerial Photographs	Historical Titles	Public Records	Geology and Hydrogeology	
35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria	Vacant land until 1956. Potential quarrying located north/north west of the site. Imported fill onsite from 1970.	Commercial/industrial from 1947 (Federal Felters Pty Ltd)	Not listed on the PSR. 3 properties located within 500 m of the site are listed on the PSR. 2 properties with an EPA licence within 500 m of site. 2 potential historical landfills/quarries within 500 m of site	Newer volcanics (fractured basalt). Groundwater at 5 – 10 m bgl	High

Based on the site setting and review of available site history documentation, in comparison with the *General Practice Note* (DSE 2005), the relative site contamination risk rating was considered to be **high**.

As per the guidance provided in the *General Practice Note*, for a site that has a high potential for contamination and is proposed to be redeveloped for industry or warehouse, the level of assessment that would be required would be *B: Require a site assessment from a suitably qualified environmental professional if insufficient information is available to determine if an audit is appropriate. if advised that an audit is not required, default to C: General duty under Section 12(2)(b) and Section 60(1)(a)(iii) of the Planning and Environment Act 1987.*

## 11 Conceptual Site Model

A conceptual site model (CSM) is a representation of site-related information regarding contamination sources, receptors and exposure pathways between those sources and receptors. A CSM provides the framework for identifying how a site became contaminated and how potential receptors may be exposed to contamination either in the present or future.

### 11.1 Setting

The site is located within an area of Newer Volcanics comprising olivine basalt, minor limburgite, trachy-andesite, scoria, thin interbedded sand, clay and tuff, and the south eastern portion of the site (along Stony Creek) is underlain by colluvium and minor slump deposits: poorly sorted gravel, sand; sand silt.

Groundwater is expected to be encountered at 5 to 10 m depth with an expected net groundwater flow to the south east.

The primary land uses at the site and surrounding area was commercial/industrial, including manufacturing and warehousing.

### 11.2 Potential Contamination Sources

Past/current uses of the site that may have resulted in contamination were generally associated with the historical commercial/industrial use of the site as felters, carpet manufacturing, woollen mills and the current industrial estate. Significant quantities of fill soil was also imported to site (particularly the southern portion).

Potential offsite contaminant sources included the quarries and landfills to the west of the site and potential runoff from surrounding commercial/industrial properties.

### 11.3 Potential Release Conditions, Contaminant Pathways/Transport Mechanisms

Contaminant release mechanisms will vary depending on the specific processes at the site but based on the site history information would generally have occurred from the storage of contaminated soils, historical spills/leaks of chemicals used onsite or the onsite disposal of waste products.

Transport through the soil profile would potentially have occurred through the downward movement of the contaminants through permeable soils (for instance in the vicinity of services following a path of least resistance).

If contamination is present at the site, based on the site setting the potential transport mechanisms include:

- Movement of soils during excavation or development works;
- Leaching of contaminants through the soil profile;
- Extraction of groundwater from offsite groundwater bores;
- Creation of surface water runoff which may enter nearby drains or watercourses (particularly Stony Creek); and
- Creation of dust/vapour during potential demolition, excavation or development works where soils are disturbed.

The importation of contaminated fill represents potential release conditions for ACM. Potential release conditions for ACM within soils would be activities that have the potential to disturb the soils such as excavation works.

Should elevated concentrations of metals be located within the soils, these can be released by precipitation, and disbursed across the site and surrounding properties by surface water runoff and wind (adsorbed onto dust particles).

Likely release conditions and contaminant transport from offsite sources was considered to be landfill leachate migrating to the groundwater and then subsequent contaminant transport in groundwater.

#### 11.4 Potential Receptors

Based on the proposed redevelopment works, potential receptors identified onsite include the following:

- Workers involved in the proposed redevelopment works that have the potential to disturb the soil (i.e. excavation/landscaping works);
- Future users of the site;
- Flora and fauna; and
- Closest receiving off-site surface water body (Stony Creek).

#### 11.5 Exposure Pathways

Adverse health effects may be associated with contaminant exposure via ingestion, inhalation and/or direct contact pathways. An exposure pathway consists of the following elements:

- A source and mechanism for release;
- A storage and/or transport medium (e.g. contaminants are stored in soil, volatilise and are transported into the atmosphere);
- An exposure point, where the receptor comes in contact with the contamination; and
- An exposure route (e.g. inhalation and dermal contact and/or ingestion).

The physicochemical characteristics of the contaminant and the behaviour of the population of interest will determine the method of exposure and subsequent systemic absorption.

The following potential exposure pathways have been identified for the site:

- Dermal contact and/or direct ingestion of contaminated soils onsite;
- Inhalation of dust created during potential demolition, development or excavation works where soils are disturbed;
- Dermal contact and/or ingestion of surface water contacted during potential demolition, development or excavation works where appropriate hygiene measures are not implemented;
- Plants can be exposed to contamination through uptake of water, groundwater or nutrients through the root systems or through dust accumulation on leaf surfaces;
- Buildings and structures can be affected by contamination through direct contact with contaminated soil or groundwater leading to corrosion or similar alteration of building materials;
- Contamination can also have indirect effects on hydraulically down gradient sites and ecosystems through migration of contamination in groundwater; and
- Inhalation of vapours associated with contaminated soil and/or groundwater.

## 12 Discussion of Potential Sources of Contamination

### 12.1 Potential Onsite Sources of Contamination

Past/current uses of the site that may have resulted in contamination were generally associated with the historical commercial/industrial use of the site as felters, carpet manufacturing, woollen mills and the current industrial estate. Significant quantities of fill soil was also imported to site (particularly the southern portion).

Based on the potential onsite sources of contamination, in accordance with the definition provided in Table 1 of the Department of Sustainability and Environment (DSE), Potentially Contaminated Land, *General Practice Note* (June 2005), the site was considered to have a high potential for contamination.

### 12.2 Potential Offsite Sources of Contamination

Potential offsite contaminant sources included the quarries and landfills to the west of the site and potential runoff from surrounding commercial/industrial properties.

In accordance with Table 1 of the *General Practice Note* (DSE 2005), the potential for contamination from the commercial/industrial properties and former landfill/quarries immediately surrounding the site was considered to be high.

### 13 Conclusions

Greencap Pty Ltd were engaged by BMF Construction to undertake a PECA & LGRA at 35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria.

The site comprised an approximate land area of 12,000 m<sup>2</sup> (12 ha) and is zoned as industrial 1 and 3 for land use.

Based on the results of the site inspection and review of desktop information the site was historically used for commercial/industrial land uses, including carpet and textile manufacturing. Potential onsite sources of contamination were generally associated with the historical commercial/industrial use of the site as felters, carpet manufacturing, woollen mills and the current industrial estate. Significant quantities of fill soil was also imported to site (particularly the southern portion).

Potential offsite contaminant sources included the quarries and landfills to the west of the site and potential runoff from surrounding commercial/industrial properties.

As per the guidance provided in the *General Practice Note*, for a site that has a high potential for contamination and is proposed to be redeveloped for industry or warehouse, the level of assessment that would be required would be *B: Require a site assessment from a suitably qualified environmental professional if insufficient information is available to determine if an audit is appropriate. if advised that an audit is not required, default to C: General duty under Section 12(2)(b) and Section 60(1)(a)(iii) of the Planning and Environment Act 1987.*

### 14 Recommendations

Based on the results of the preliminary environmental contamination and gas assessment, Greencap recommend:

- Should soils require offsite disposal as part of potential future developments, sampling and laboratory analysis would be required to comply with EPA Victoria offsite disposal requirements.
- The scope of the PECA & LFGRA did not include soil, groundwater or gas assessment. Further investigation is recommended to characterise the conditions at the site; and
- In accordance with the EPA Victoria publication 1625 – Assessing Planning Proposals Near Landfills, a landfill gas risk assessment should be conducted by a ‘suitably qualified professional’.
- Should soil excavation works be required for the proposed site redevelopment, as a precautionary measure a soil management plan, including an unexpected finds procedure, should be developed for proposed development of the site to provide measures to minimise risks to site workers and the environment associated with potentially contaminated soils that may be encountered during the works.
- Due to the age of the structures at the site (pre 1990s), should BMF propose to demolish portions or whole buildings/infrastructure at the site as part of the redevelopment, Greencap recommend a Division 6 survey be undertaken on existing structures at the site to assess for potential hazardous substances within the building materials, e.g. asbestos.

## **Preliminary Environmental Contamination and Gas Assessment**

### **BMF Construction**

**35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria**

## **Figures**

Figure 1: Site Location Plan, 35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria



**Legend**  
 Site Boundary



1:5,000 on A3  
 0 50 100 200 Metres

Coordinate System: GDA 1994 MGA Zone 55  
 Basemap Source: ESRI 2019 (image accessed: 08/11/2019 CE)  
 Information source: Greencap 2019, State Government of Victoria 2019

Client:	BMF Construction	<p>Greencap Level 11/ 677 High Street Kew East VIC 3102 Australia P: (03) 9890 8811 F: (03) 9890 8911 www.greencap.com.au</p>
Project:	PECA and LFGR	
Job No.:	J164174	
Client No.:	C110348	
Date:	8/11/2019	
Drawn:	RLS	
Verified:	SJS PM: KWK	

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, © OpenStreetMap contributors, and the GIS User Community, Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Disclaimers: Every reasonable effort has been made to ensure the accuracy of this map, however this map and its associated information are only as accurate as the source of the original information. Further, the map requires regular updates and therefore may not reflect the most current information. Data may or may not be exact and is subject to survey.

Figure 2: Site Layout Plan, 35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria




**Legend**

Site Boundary



1:1,500 on A3  
0 10 20 40 Metres

Coordinate System: GDA 1994 MGA Zone 55  
Basemap Source: Nearmap 2019 (image: 31/08/2019 CE)  
Information source: Greencap 2019, State Government of Victoria 2019

Client: BMF Construction	 <b>Greencap</b> Level 11/ 677 High Street Kew East VIC 3102 Australia P: (03) 9890 8811 F: (03) 9890 8911 www.greencap.com.au
Project: PECA and LFGRA	
Job No.: J164174	
Client No.: C110348	
Date: 8/11/2019	
Drawn: RLS	
Verified: SJS PM: KWK	

Disclaimers: Every reasonable effort has been made to ensure the accuracy of this map, however this map and its associated information are only as accurate as the source of the original information. Further, the map requires regular updates and therefore may not reflect the most current information. Data may or may not be exact and is subject to survey.

November 2019

Level 1 / 677 High Street  
Kew East VIC 3102  
Australia

## **Preliminary Environmental Contamination and Gas Assessment**

### **BMF Construction**

**35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria**

## **Appendix A: Planning Property Reports**

# Property Report

from [www.land.vic.gov.au](http://www.land.vic.gov.au) on 21 October 2019 02:18 PM

**Address:** 35-65 PARAMOUNT ROAD TOTTENHAM 3012

**Lot and Plan Number:** This property has 4 parcels. See table below.

**Standard Parcel Identifier (SPI):** See table below.

**Local Government (Council):** MARIBYRNONG **Council Property Number:** 100838

**Directory Reference:** Melway 41 E5

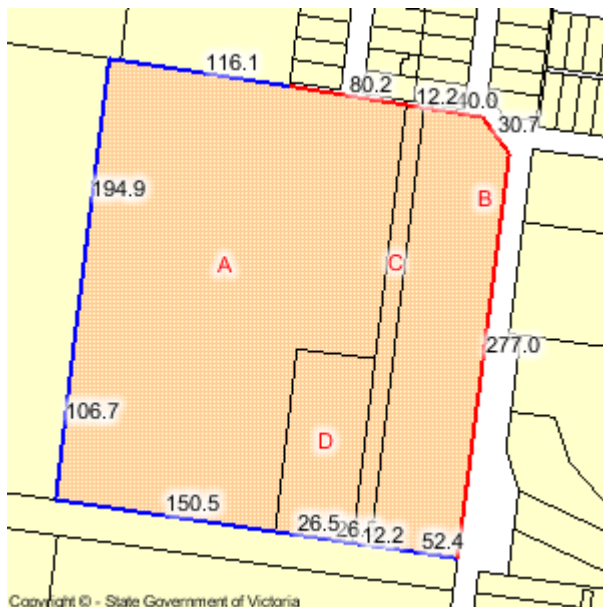
**This property is not in a designated bushfire prone area.**

**No special bushfire construction requirements apply. Planning provisions may apply.**

Further information about the building control system and building in bushfire prone areas can be found in the Building Commission section of the Victorian Building Authority website [www.vba.vic.gov.au](http://www.vba.vic.gov.au)

## Site Dimensions

All dimensions and areas are approximate. They may not agree with the values shown on a title or plan.



**Area:** 82826 sq. m

(8.3 ha)

**Perimeter:** 1141 m

For this property:

— Site boundaries

— Road frontages

Dimensions for individual parcels require a separate search, but dimensions for individual units are generally not available.

2 dimensions shorter than 8m not displayed

Calculating the area from the dimensions shown may give a different value to the area shown above - which has been calculated using all the dimensions.

For more accurate dimensions get copy of plan at [Title and Property Certificates](#)

## Parcel Details

Letter in first column identifies parcel in diagram above

	Lot/Plan or Crown Description	SPI
A	Lot 1 TP806244	1\TP806244
B	Lot 1 TP806261	1\TP806261
C	Lot 2 TP806261	2\TP806261
D	Lot 1 TP806328	1\TP806328

## State Electorates

**Legislative Council:** WESTERN METROPOLITAN

**Legislative Assembly:** FOOTSCRAY

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## Utilities

**Rural Water Corporation:** Southern Rural Water

**Melbourne Water Retailer:** City West Water

**Melbourne Water:** inside drainage boundary

**Power Distributor:** JEMENA (Information about [choosing an electricity retailer](#))

## Planning Zone Summary

**Planning Zones:** [INDUSTRIAL 1 ZONE \(IN1Z\)](#)  
[SCHEDULE TO THE INDUSTRIAL 1 ZONE \(IN1Z\)](#)  
[INDUSTRIAL 3 ZONE \(IN3Z\)](#)  
[SCHEDULE TO THE INDUSTRIAL 3 ZONE \(IN3Z\)](#)

**Planning Overlays:** [HERITAGE OVERLAY \(HO\)](#)  
[HERITAGE OVERLAY SCHEDULE \(HO152\)](#)  
[LAND SUBJECT TO INUNDATION OVERLAY \(LSIO\)](#)  
[LAND SUBJECT TO INUNDATION OVERLAY SCHEDULE \(LSIO\)](#)  
[PUBLIC ACQUISITION OVERLAY \(PAO\)](#)  
[PUBLIC ACQUISITION OVERLAY 1 SCHEDULE \(PAO1\)](#)

## Areas of Aboriginal Cultural Heritage Sensitivity:

All or part of this property is an 'area of cultural heritage sensitivity'.

Planning scheme data last updated on 16 October 2019.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

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For further information about whether a Cultural Heritage Management Plan is required go to <http://www.aav.nrms.net.au/aavQuestion1.aspx>

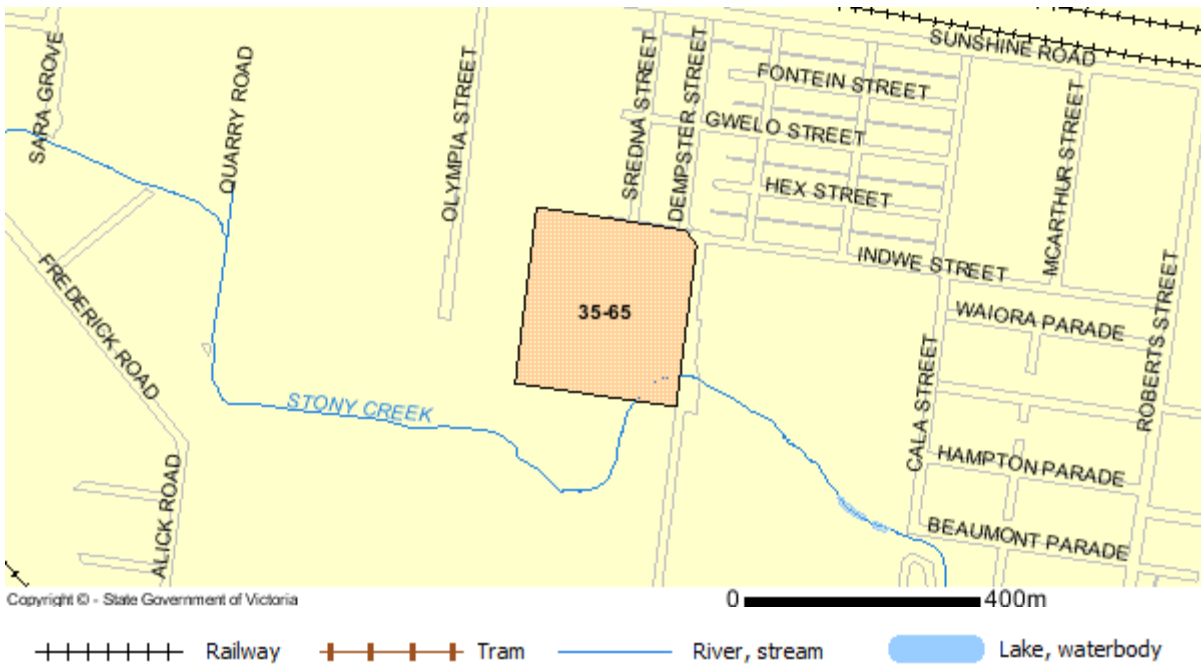
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## Area Map



From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) on 14 August 2019 03:56 PM

## PROPERTY DETAILS

Address: **35-65 PARAMOUNT ROAD TOTTENHAM 3012**  
 Lot and Plan Number: **Lot 1 TP806244**  
 Standard Parcel Identifier (SPI): **1\TP806244**  
 Local Government Area (Council): **MARIBYRNONG** [www.maribyrnong.vic.gov.au](http://www.maribyrnong.vic.gov.au)  
 Council Property Number: **100838**  
 Planning Scheme: **Maribyrnong** [planning-schemes.delwp.vic.gov.au/schemes/maribyrnong](http://planning-schemes.delwp.vic.gov.au/schemes/maribyrnong)  
 Directory Reference: **Melway 41 E5**  
 This property has 4 parcels. For full parcel details get the free Basic Property report at [Property Reports](#)

## UTILITIES

Rural Water Corporation: **Southern Rural Water**  
 Melbourne Water Retailer: **City West Water**  
 Melbourne Water: **inside drainage boundary**  
 Power Distributor: **JEMENA**

## STATE ELECTORATES

Legislative Council: **WESTERN METROPOLITAN**  
 Legislative Assembly: **FOOTSCRAY**

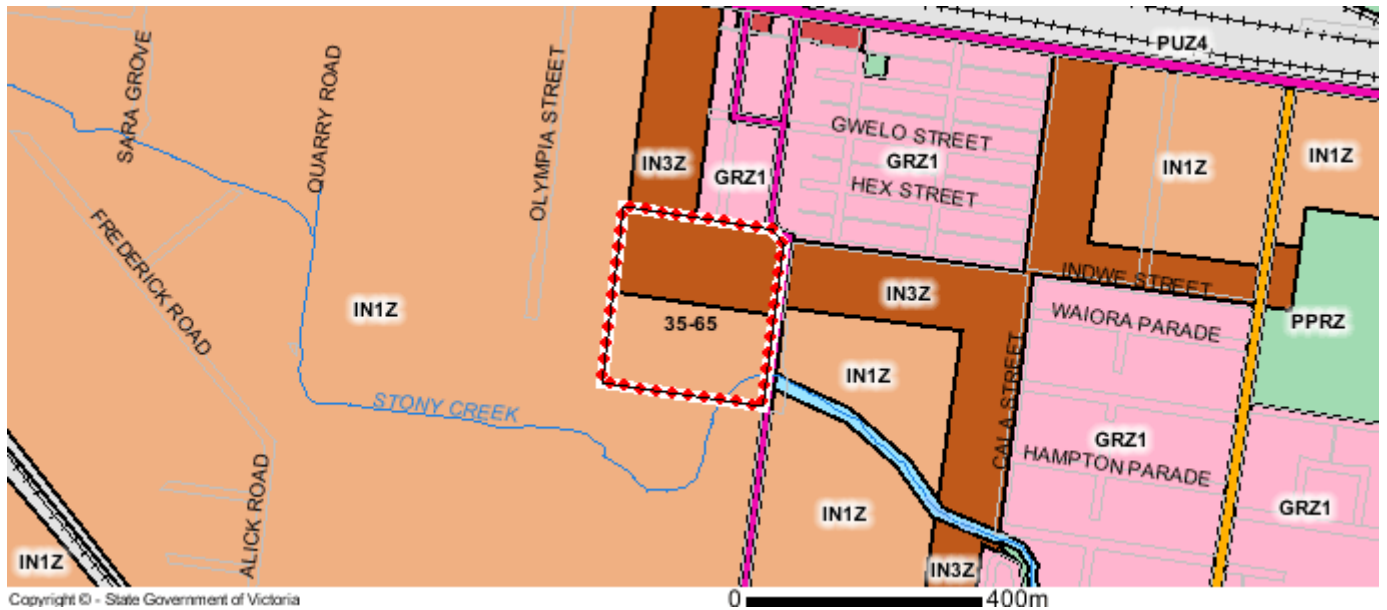
## Planning Zones

[INDUSTRIAL 1 ZONE \(IN1Z\)](#)

[SCHEDULE TO THE INDUSTRIAL 1 ZONE \(IN1Z\)](#)

[INDUSTRIAL 3 ZONE \(IN3Z\)](#)

[SCHEDULE TO THE INDUSTRIAL 3 ZONE \(IN3Z\)](#)



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- |                           |                                 |                               |
|---------------------------|---------------------------------|-------------------------------|
| GRZ - General Residential | IN1Z - Industrial 1             | IN3Z - Industrial 3           |
| MUZ - Mixed Use           | PPRZ - Public Park & Recreation | PUZ4 - Public Use - Transport |
| RDZ1 - Road - Category 1  | RDZ2 - Road - Category 2        | UFZ - Urban Floodway          |

Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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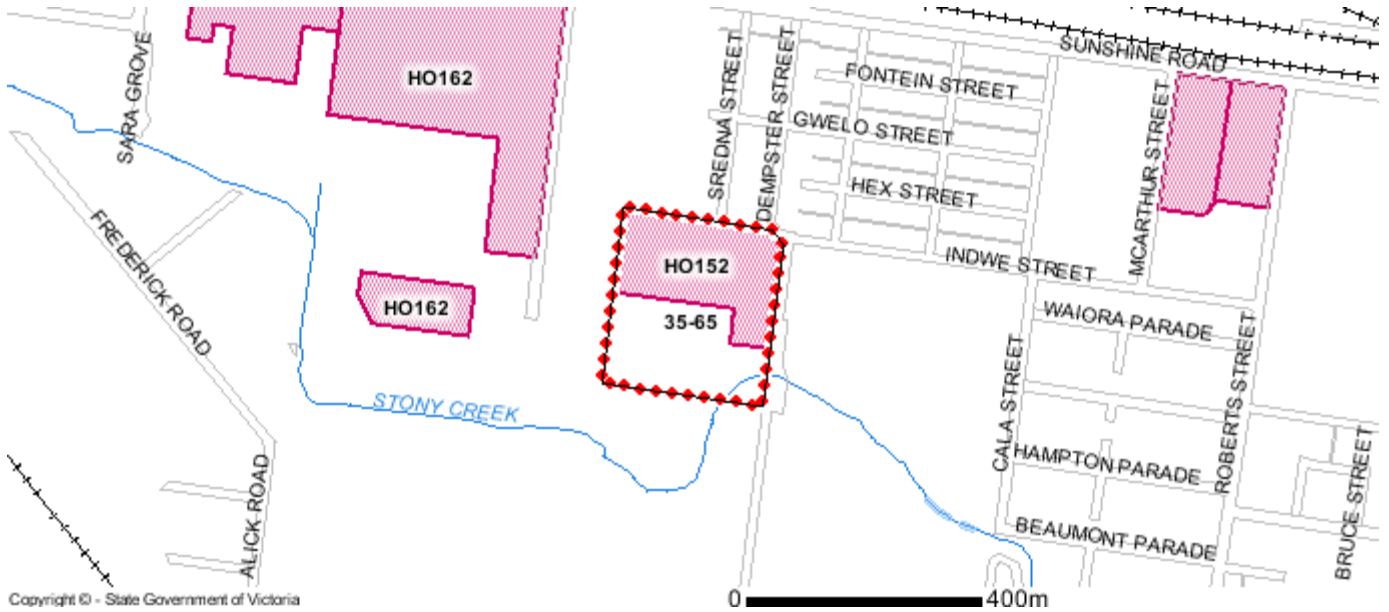
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## Planning Overlays

[HERITAGE OVERLAY \(HO\)](#)

[HERITAGE OVERLAY SCHEDULE \(HO152\)](#)



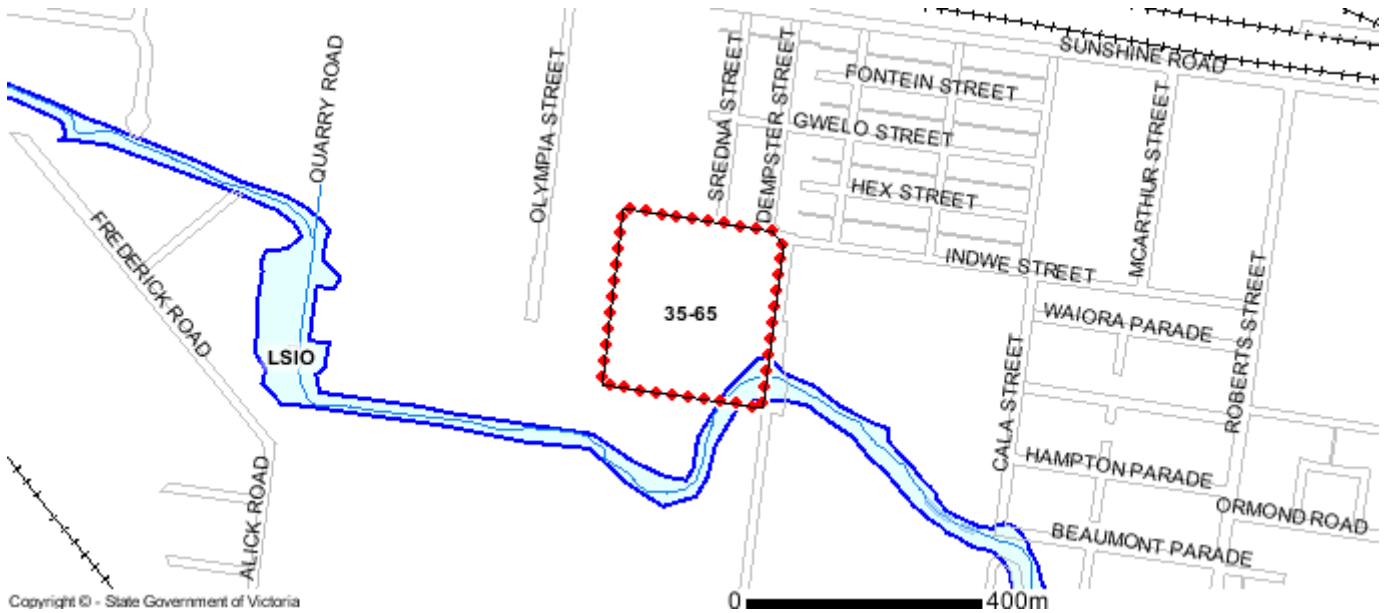
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HO - Heritage

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend.

[LAND SUBJECT TO INUNDATION OVERLAY \(LSIO\)](#)

[LAND SUBJECT TO INUNDATION OVERLAY SCHEDULE \(LSIO\)](#)



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LSIO - Land Subject to Inundation

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend.

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## Planning Overlays

[PUBLIC ACQUISITION OVERLAY \(PAO\)](#)

[PUBLIC ACQUISITION OVERLAY 1 SCHEDULE \(PAO1\)](#)



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 PAO - Public Acquisition

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend.

## Planning Overlays

### OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

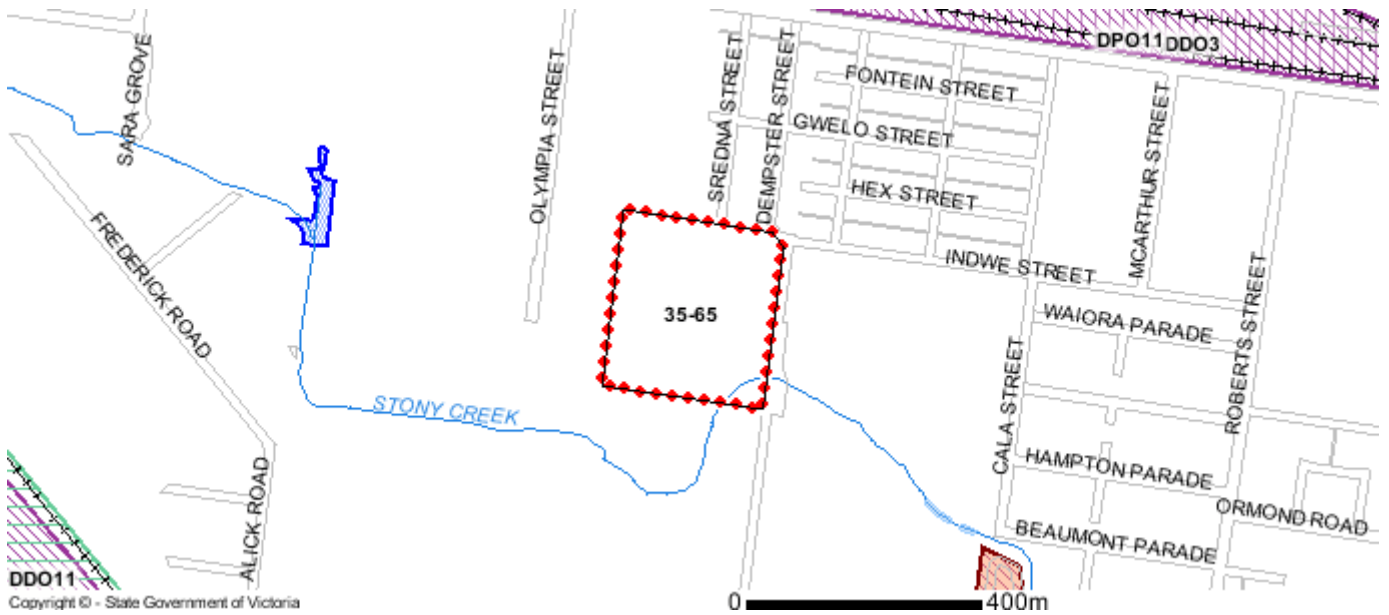
[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY \(DCPO\)](#)

[DESIGN AND DEVELOPMENT OVERLAY \(DDO\)](#)

[DEVELOPMENT PLAN OVERLAY \(DPO\)](#)

[ENVIRONMENTAL AUDIT OVERLAY \(EAO\)](#)

[SPECIAL BUILDING OVERLAY \(SBO\)](#)



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- |                                       |                              |                        |
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## Areas of Aboriginal Cultural Heritage Sensitivity

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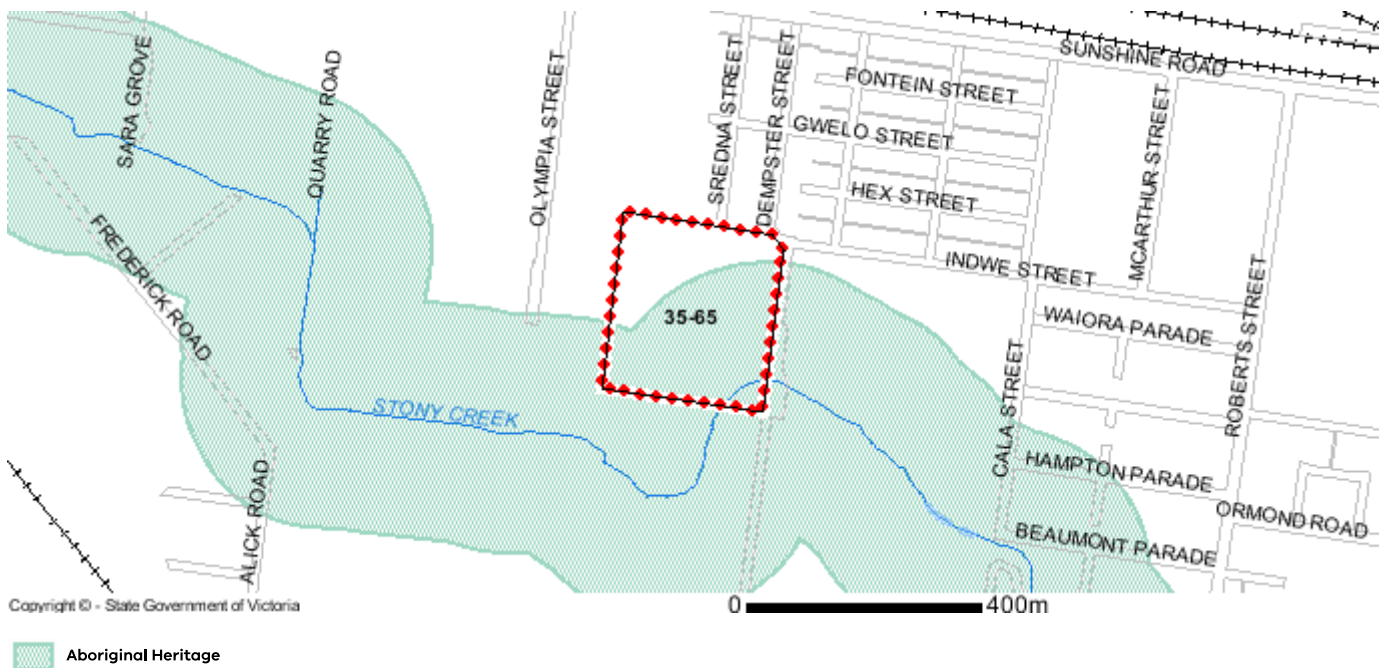
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## Further Planning Information

Planning scheme data last updated on 7 August 2019.

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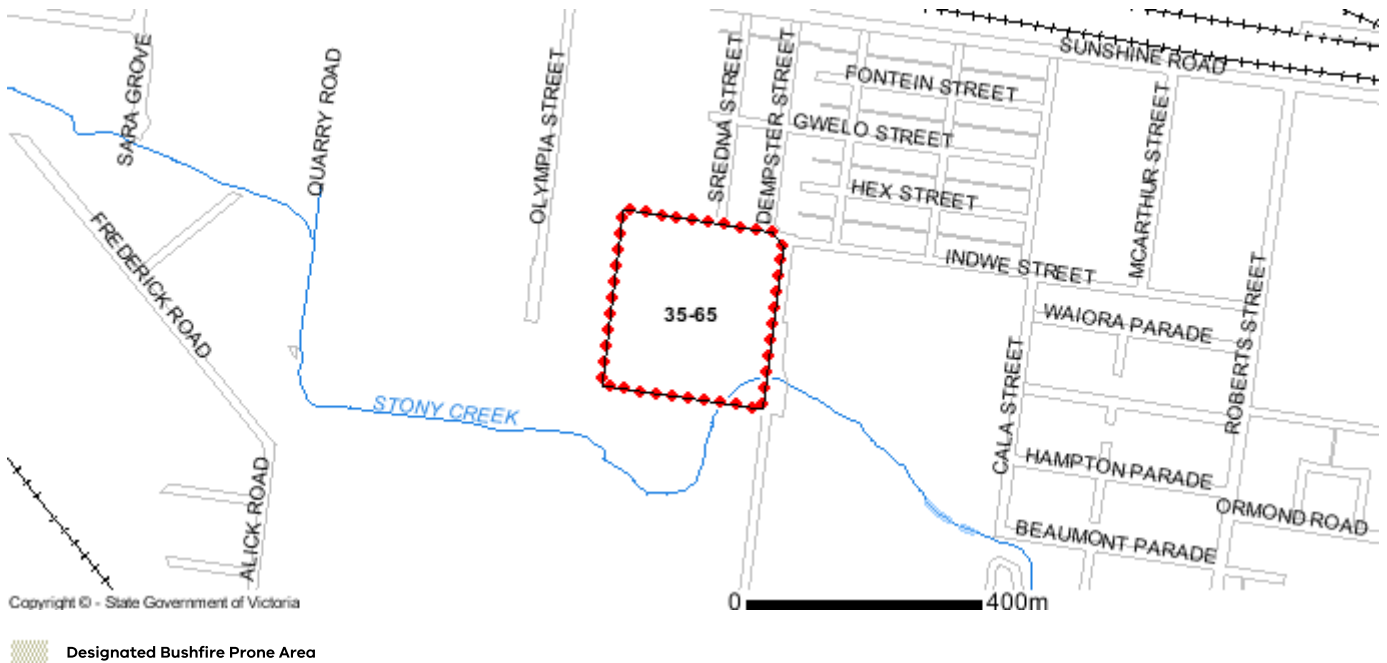
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For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

## Designated Bushfire Prone Area

**This property is not in a designated bushfire prone area.  
No special bushfire construction requirements apply. Planning provisions may apply.**



Designated bushfire prone areas as determined by the Minister for Planning are in effect from 8 September 2011 and amended from time to time.

The Building Regulations 2018 through application of the Building Code of Australia, apply bushfire protection standards for building works in designated bushfire prone areas.

Designated bushfire prone areas maps can be viewed on VicPlan at <http://mapshare.maps.vic.gov.au/vicplan> or at the relevant local council.

Note: prior to 8 September 2011, the whole of Victoria was designated as bushfire prone area for the purposes of the building control system.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website [www.vba.vic.gov.au](http://www.vba.vic.gov.au)

Copies of the Building Act and Building Regulations are available from [www.legislation.vic.gov.au](http://www.legislation.vic.gov.au)

For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

# Property Report

from [www.land.vic.gov.au](http://www.land.vic.gov.au) on 21 October 2019 02:15 PM

**Address:** 99 OLYMPIA STREET TOTTENHAM 3012

**Lot and Plan Number:** Lot 1 TP806290

**Standard Parcel Identifier (SPI):** 1\TP806290

**Local Government (Council):** MARIBYRNONG **Council Property Number:** 100827

**Directory Reference:** Melway 41 D5

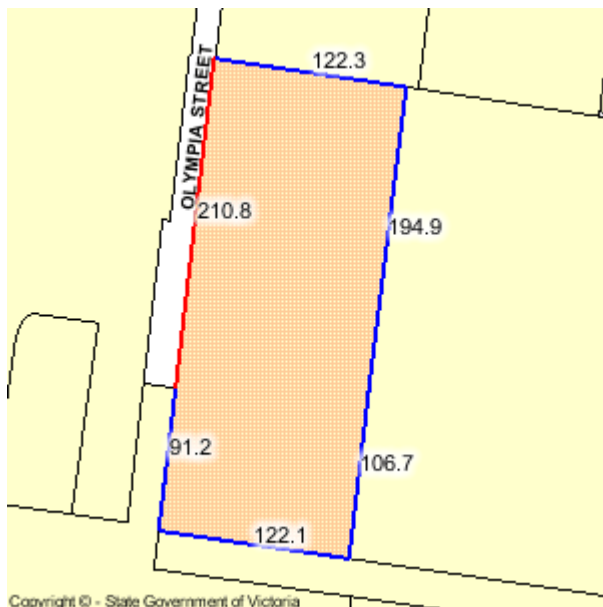
**This property is not in a designated bushfire prone area.**

**No special bushfire construction requirements apply. Planning provisions may apply.**

Further information about the building control system and building in bushfire prone areas can be found in the Building Commission section of the Victorian Building Authority website [www.vba.vic.gov.au](http://www.vba.vic.gov.au)

## Site Dimensions

All dimensions and areas are approximate. They may not agree with the values shown on a title or plan.



**Area:** 36938 sq. m

(3.7 ha)

**Perimeter:** 849 m

For this property:

— Site boundaries

— Road frontages

Dimensions for individual parcels require a separate search, but dimensions for individual units are generally not available.

1 dimension shorter than 2m not displayed

Calculating the area from the dimensions shown may give a different value to the area shown above - which has been calculated using all the dimensions.

For more accurate dimensions get copy of plan at [Title and Property Certificates](#)

## State Electorates

**Legislative Council:** WESTERN METROPOLITAN

**Legislative Assembly:** FOOTSCRAY

## Utilities

**Rural Water Corporation:** Southern Rural Water

**Melbourne Water Retailer:** City West Water

**Melbourne Water:** inside drainage boundary

**Power Distributor:** JEMENA (Information about [choosing an electricity retailer](#))

Planning information continued on next page

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## Planning Zone Summary

**Planning Zone:** INDUSTRIAL 1 ZONE (IN1Z)  
SCHEDULE TO THE INDUSTRIAL 1 ZONE (IN1Z)

**Planning Overlay:** None

**Areas of Aboriginal Cultural Heritage Sensitivity:**

All or part of this property is an 'area of cultural heritage sensitivity'.

Planning scheme data last updated on 16 October 2019.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

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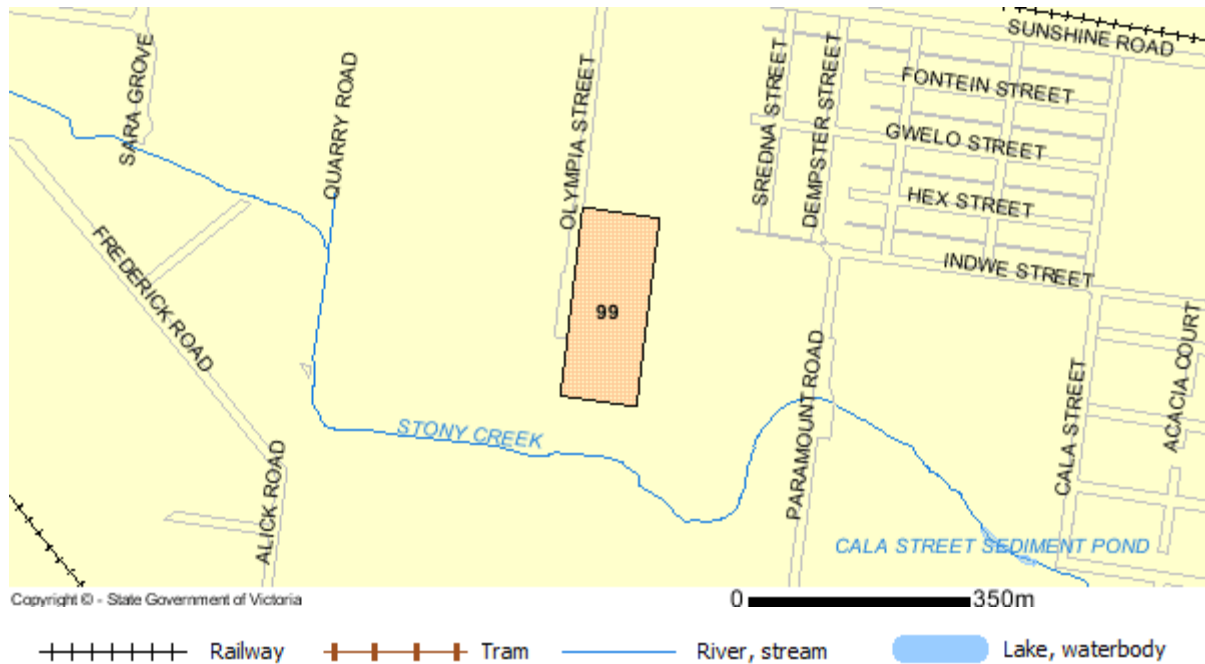
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## Area Map



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From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) on 21 October 2019 02:23 PM

## PROPERTY DETAILS

Address: **99 OLYMPIA STREET TOTTENHAM 3012**  
 Lot and Plan Number: **Lot 1 TP806290**  
 Standard Parcel Identifier (SPI): **1\TP806290**  
 Local Government Area (Council): **MARIBYRNONG**  
 Council Property Number: **100827**  
 Planning Scheme: **Maribyrnong**  
 Directory Reference: **Melway 41 D5**

[www.maribyrnong.vic.gov.au](http://www.maribyrnong.vic.gov.au)

[planning-schemes.delwp.vic.gov.au/schemes/maribyrnong](http://planning-schemes.delwp.vic.gov.au/schemes/maribyrnong)

## UTILITIES

Rural Water Corporation: **Southern Rural Water**  
 Melbourne Water Retailer: **City West Water**  
 Melbourne Water: **inside drainage boundary**  
 Power Distributor: **JEMENA**

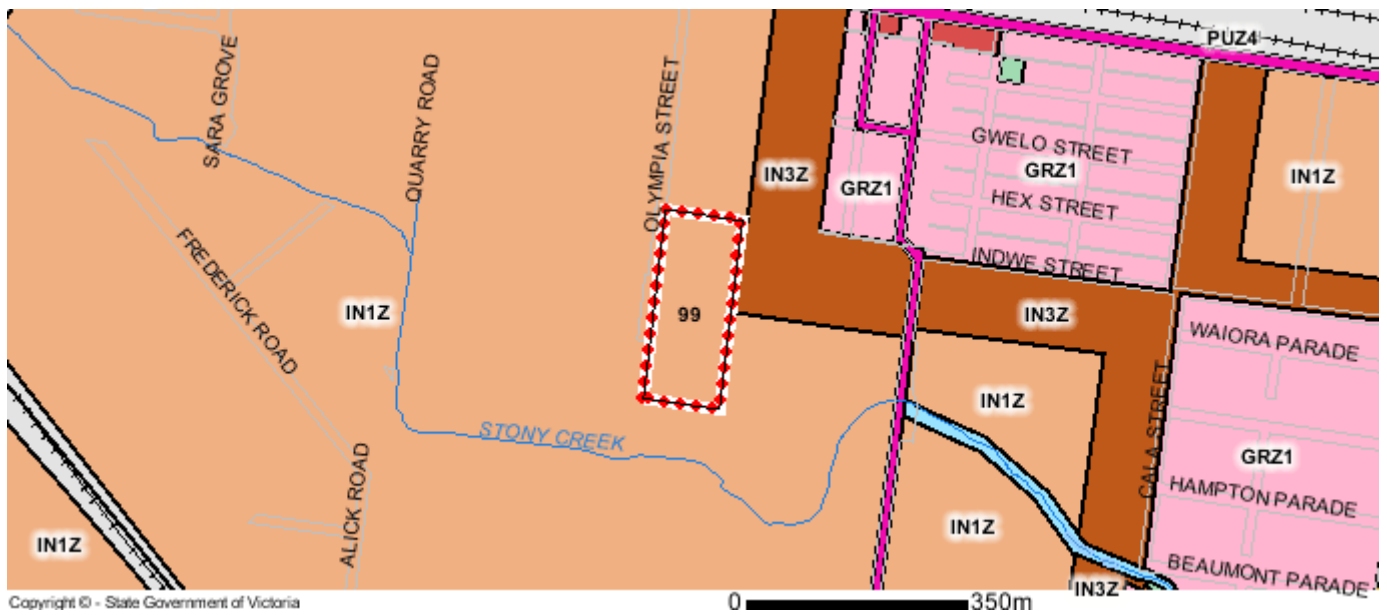
## STATE ELECTORATES

Legislative Council: **WESTERN METROPOLITAN**  
 Legislative Assembly: **FOOTSCRAY**

## Planning Zones

[INDUSTRIAL 1 ZONE \(IN1Z\)](#)

[SCHEDULE TO THE INDUSTRIAL 1 ZONE \(IN1Z\)](#)



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- |                           |                                 |                               |
|---------------------------|---------------------------------|-------------------------------|
| GRZ - General Residential | IN1Z - Industrial 1             | IN3Z - Industrial 3           |
| MUZ - Mixed Use           | PPRZ - Public Park & Recreation | PUZ4 - Public Use - Transport |
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## Planning Overlay

None affecting this land - there are overlays in the vicinity

[DEVELOPMENT CONTRIBUTIONS PLAN OVERLAY \(DCPO\)](#)

[DESIGN AND DEVELOPMENT OVERLAY \(DDO\)](#)

[DEVELOPMENT PLAN OVERLAY \(DPO\)](#)

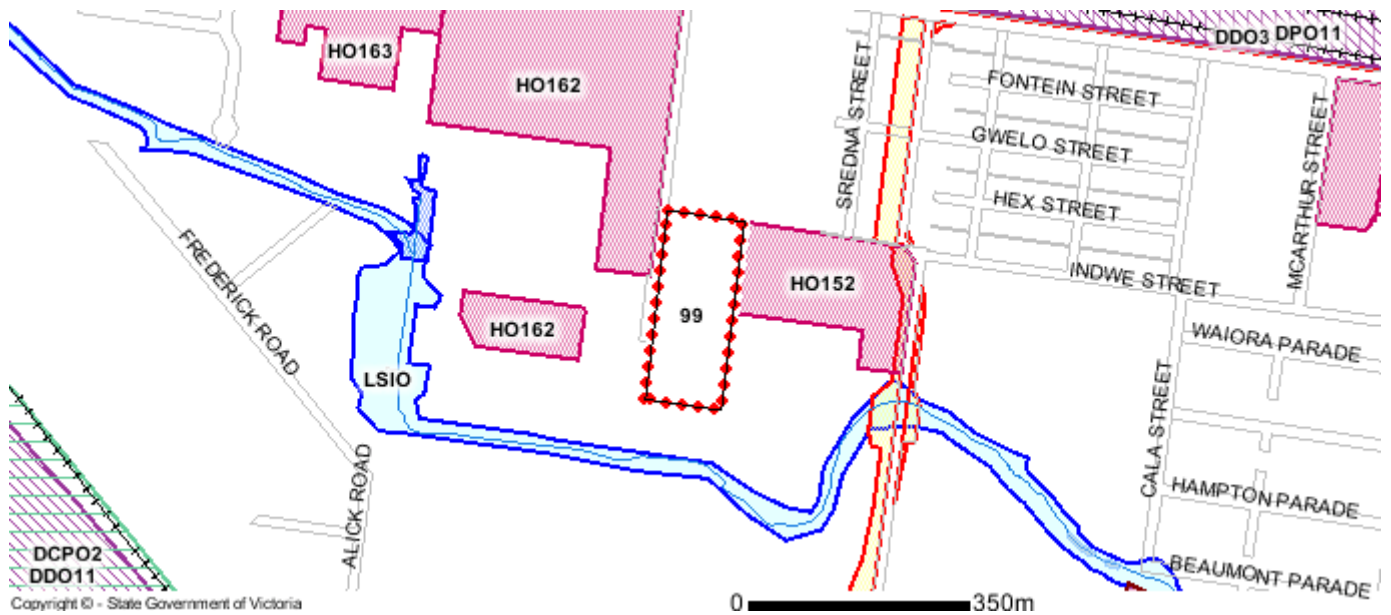
[ENVIRONMENTAL AUDIT OVERLAY \(EAO\)](#)

[HERITAGE OVERLAY \(HO\)](#)

[LAND SUBJECT TO INUNDATION OVERLAY \(LSIO\)](#)

[PUBLIC ACQUISITION OVERLAY \(PAO\)](#)

[SPECIAL BUILDING OVERLAY \(SBO\)](#)



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- |                                       |                              |                                   |
|---------------------------------------|------------------------------|-----------------------------------|
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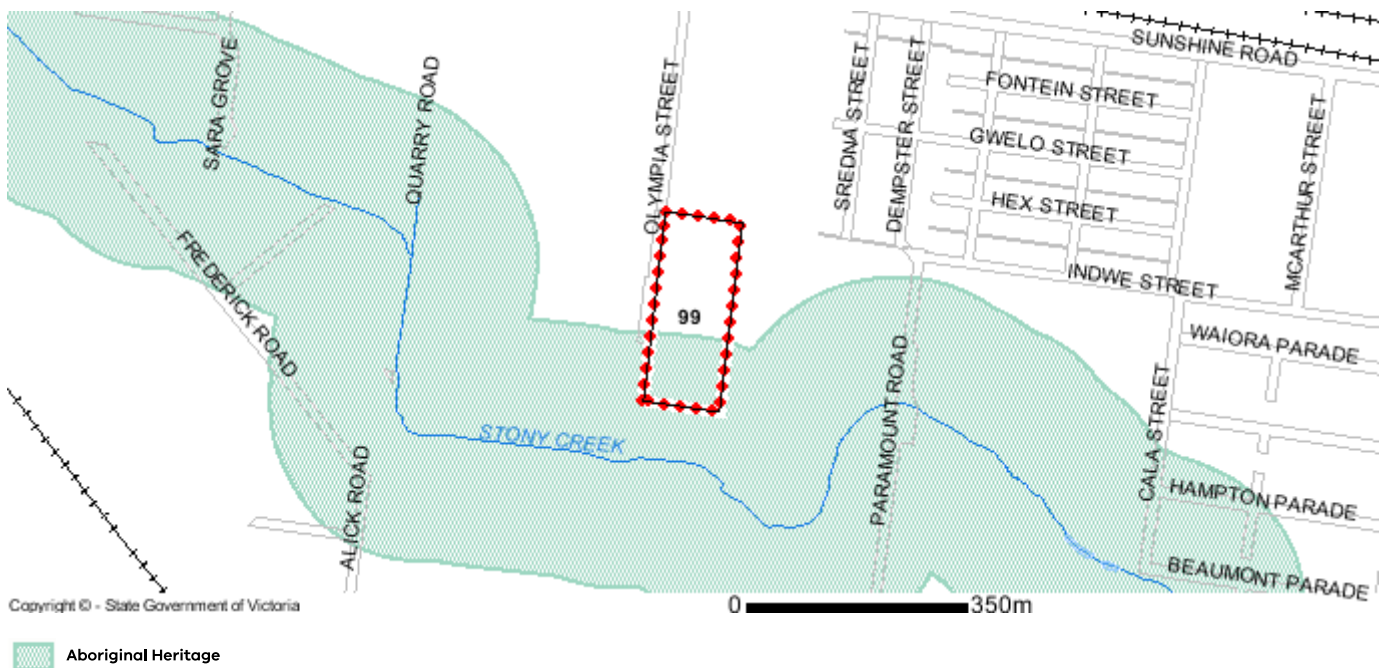
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## Further Planning Information

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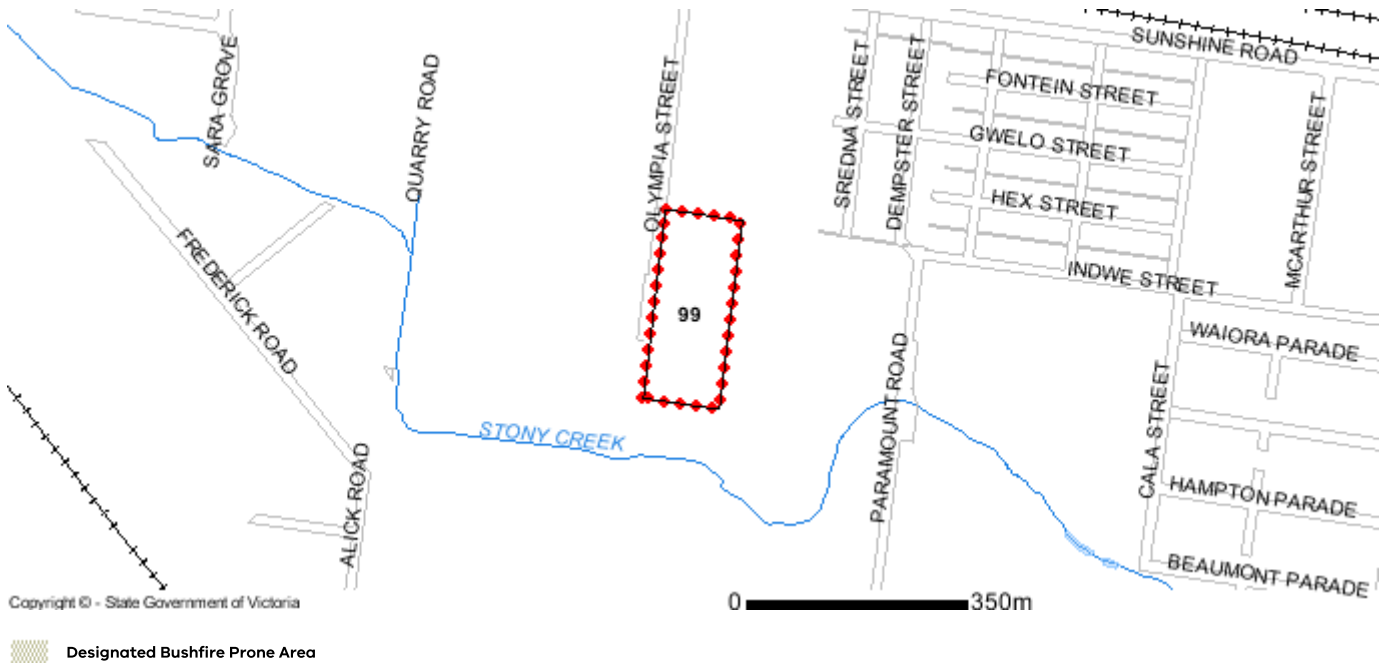
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## Designated Bushfire Prone Area

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For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>

## **Preliminary Environmental Contamination and Gas Assessment**

### **BMF Construction**

**35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria**

## **Appendix B: Regional Groundwater Bore Search**

## Regional Groundwater Bore Search

No.	Distance from centre of site*	Bore ID	Parish	Parish No	Longitude (GDA94)	Latitude (GDA94)	Easting (MGA)	Northing (MGA)	Map zone	Elevation (m AHD)	Elevation (digitised)	Constructed date	Constructed depth	Bore type	Use 1	Use 2	Monitoring Status	Driller	Drill rig	Drilling Method	Headworks height (m)	Old Bore ID
1	226.3934632	WRK963897	CUT-PAW-PAW	2478	144.861628	-37.80515	311750	5813650	55		14.87	18/12/2003	6	Groundwater	Groundwater Investigation		N	SING, BRIAN		MECHANICAL AUGER	0	
2	413.3083597	WRK073257			144.854901	-37.80408	311155	5813755	55			14/02/2013	11	Groundwater	Observation		N	NOT KNOWN			0	
4	414.3764474	WRK073256			144.854889	-37.80409	311154	5813754	55			15/02/2013	12	Groundwater	Observation		N	NOT KNOWN			0	
3	414.3764474	WRK073255			144.854889	-37.80409	311154	5813754	55			15/02/2013	12.3	Groundwater	Observation		N	NOT KNOWN		HAND AUGER	0	
5	414.3764474	WRK073258			144.854889	-37.80409	311154	5813754	55			14/02/2013	12.4	Groundwater	Observation		N	NOT KNOWN			0	
7	578.9545165	57921	CUT-PAW-PAW	2478	144.856793	-37.80863	311333	5813254	55		0	22/05/1975	41.5	Groundwater	Observation	State Observation Network	P	GRIMSTEAD D	28/75/8	CABLE TOOL	0	276
6	578.9545165	57920	CUT-PAW-PAW	2478	144.856793	-37.80863	311333	5813254	55	22.77		15/05/1975	44	Groundwater	Observation	State Observation Network	P	GRIMSTEAD D	28/75/7	CABLE TOOL	0.2	275
12	584.8065665	WRK071810			144.86619	-37.80447	312150	5813734	55			31/10/2012	3.2	Groundwater	Observation		N	NOT KNOWN			0	
8	584.8065665	WRK069470			144.86619	-37.80447	312150	5813734	55			29/05/2012	18	Groundwater	Observation		N	NOT KNOWN		DOWN HOLE HAMMER	0	
9	584.8065665	WRK069472			144.86619	-37.80447	312150	5813734	55			29/05/2012	18	Groundwater	Observation		N	NOT KNOWN			0	
10	584.8065665	WRK070218			144.86619	-37.80447	312150	5813734	55			12/07/2012	18	Groundwater	Observation		N	NOT KNOWN		DOWN HOLE HAMMER	0	
11	584.8065665	WRK070219			144.86619	-37.80447	312150	5813734	55			12/07/2012	18	Groundwater	Observation		N	NOT KNOWN		DOWN HOLE HAMMER	0	
28	602.9105507	305533	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	11/09/1962	3.81	Groundwater			N	BRANDENBURG J			0	59
27	602.9105507	305532	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	6/09/1962	3.96	Groundwater			N	BRANDENBURG J			0	58
29	602.9105507	305534	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	11/09/1962	3.96	Groundwater			N	BRANDENBURG J			0	60
35	602.9105507	305540	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	2/10/1962	3.96	Groundwater			N	COUGHLAN L			0	66
24	602.9105507	305529	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	13/09/1962	4.11	Groundwater			N	BRANDENBURG J			0	55
25	602.9105507	305530	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	13/09/1962	4.11	Groundwater			N	BRANDENBURG J			0	56
26	602.9105507	305531	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	7/09/1962	4.11	Groundwater			N	BRANDENBURG J			0	57
22	602.9105507	305527	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	14/09/1962	4.27	Groundwater			N	BRANDENBURG J			0	53
31	602.9105507	305536	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	12/09/1962	4.27	Groundwater			N	BRANDENBURG J			0	62
32	602.9105507	305537	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	1/10/1962	4.37	Groundwater			N	COUGHLAN L			0	63
23	602.9105507	305528	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	14/09/1962	4.42	Groundwater			N	BRANDENBURG J			0	54
21	602.9105507	305526	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	19/09/1962	4.57	Groundwater			N	COUGHLAN L			0	52
30	602.9105507	305535	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	7/09/1962	4.57	Groundwater			N	BRANDENBURG J			0	61
33	602.9105507	305538	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	1/10/1962	4.62	Groundwater			N	COUGHLAN L			0	64
14	602.9105507	305519	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	25/09/1962	4.88	Groundwater			N	COUGHLAN L			0	45
15	602.9105507	305520	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	26/09/1962	5.03	Groundwater			N	COUGHLAN L			0	46
36	602.9105507	305541	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	21/09/1962	5.03	Groundwater			N	COUGHLAN L			0	67
13	602.9105507	305518	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	24/09/1962	5.08	Groundwater			N	COUGHLAN L			0	44
16	602.9105507	305521	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	26/09/1962	5.18	Groundwater			N	COUGHLAN L			0	47
20	602.9105507	305525	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	19/09/1962	5.18	Groundwater			N	COUGHLAN L			0	51
19	602.9105507	305524	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	19/09/1962	5.28	Groundwater			N	COUGHLAN L			0	50
17	602.9105507	305522	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	27/09/1962	5.33	Groundwater			N	COUGHLAN L			0	48
18	602.9105507	305523	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	19/09/1962	5.33	Groundwater			N	COUGHLAN L			0	49
34	602.9105507	305539	CUT-PAW-PAW	2478	144.862523	-37.799	311813	5814334	55		35.76	1/10/1962	7.01	Groundwater			N	COUGHLAN L			0	65
37	677.704567	WRK985878	CUT-PAW-PAW	2478	144.867246	-37.8033	312240	5813866	55		25.65		25	Groundwater			N	NULL			0	
38	704.2385251	WRK055205			144.865738	-37.80796	312119	5813346	55		15.7	1/07/2010	20	Groundwater	Observation		N	NOT KNOWN			0	
39	707.3932571	WRK055203			144.865935	-37.80781	312136	5813363	55		13.84	1/07/2010	20	Groundwater	Observation		N	NOT KNOWN			0	
40	728.1931339	WRK981232	CUT-PAW-PAW	2478	144.853256	-37.79969	310999	5814239	55		27.18		25	Groundwater			N	NULL			0	
41	746.3773846	WRK052092			144.865721	-37.80855	312119	5813281	55		16.78	1/07/2010	20	Groundwater	Observation		N	NOT KNOWN			0	
42	775.5763793	WRK057830			144.866082	-37.80863	312151	5813273	55		15.06	1/07/2010	20	Groundwater	Observation		N	NOT KNOWN			0	
43	777.9752774	58003	CUT-PAW-PAW	2478	144.86276	-37.81045	311863	5813064	55		19.74	13/06/1990	22.5	Groundwater	Groundwater Investigation		N	BRENNAN, GRAHAM J		DOWN HOLE HAMMER	0	15011
44	780.9545443	WRK055204			144.865766	-37.80895	312124	5813236	55		16.7	1/07/2010	20	Groundwater	Observation		N	NOT KNOWN			0	
45	784.548469	WRK055202			144.866475	-37.80839	312185	5813300	55		12.4	1/07/2010	20	Groundwater	Observation		N	NOT KNOWN			0	
46	817.3724562	58002	CUT-PAW-PAW	2478	144.862177	-37.81098	311813	5813004	55		20.16	14/06/1990	16.5	Groundwater	Groundwater Investigation		N	BRENNAN, GRAHAM J		DOWN HOLE HAMMER	0	15010
47	826.3156662	WRK057831			144.86668	-37.80878	312204	5813257	55		12.29	1/07/2010	20	Groundwater	Observation		N	NOT KNOWN			0	
48	838.5131246	WRK052093			144.866593	-37.80902	312197	5813230	55		14.89	1/07/2010	20	Groundwater	Observation		N	NOT KNOWN			0	
49	874.7568349	WRK068132			144.854629	-37.81073	311148	5813016	55			6/06/2012	14.5	Groundwater	Observation		N	NOT KNOWN		MECHANICAL AUGER	0	
50	887.213014	58004	CUT-PAW-PAW	2478	144.862272	-37.81161	311823	5812934	55		19.17	14/06/1990	16.5	Groundwater	Groundwater Investigation		N	BRENNAN, GRAHAM J		DOWN HOLE HAMMER	0	15012
51	997.8814359	WRK092866			144.852381	-37.79685	310914	5814538	55			18/03/2016	23.8	Groundwater			N	McKENDRY, Jason			0	
52	1073.355645	WRK983610	CUT-PAW-PAW	2478	144.867483	-37.81127	312281	5812982	55		16.87		25	Groundwater			N	NULL			0	
53	1140.752003	58028	CUT-PAW-PAW	2478	144.847615	-37.80783	310523	5813324	55		27.71	1/12/1990	18.8	Groundwater	Groundwater Investigation		N	WAGER J		ROTARY	0	15036
54	1148.954104	58029	CUT-PAW-PAW	2478	144.84761	-37.80801	310523	5813304	55		27.63	30/11/1990	40.3	Groundwater	Groundwater Investigation		N	WAGER J		ROTARY	0	15037
55	1152.961769	WRK974534	CUT-PAW-PAW	2478	144.868437	-37.79625	312327	5814651	55		32.81	25/07/2006	19	Groundwater	Domestic and Stock		N	NOT KNOWN		MECHANICAL AUGER	0	
56	1174.799784	58026	CUT-PAW-PAW	2478	144.84643	-37.80564	310413	5813564	55		29.09	28/11/1990	17.9	Groundwater	Groundwater Investigation		N	WAGER J		MECHANICAL AUGER	0	15034
57	1176.283185	109490	CUT-PAW-PAW	2478	144.84727	-37.808	310493	5813304	55		0	8/09/1972	42.06	Groundwater	Observation	State Observation Network	P	GRIMSTEAD D	28/72/13	CABLE TOOL	0	255
58	1176.283185	109491	CUT-PAW-PAW	2478	144.84727	-37.808	310493	5813304	55		0	8/09/1972	42.06	Groundwater	Observation	State Observation Network	P	GRIMSTEAD D	28/72/13	CABLE TOOL	0	
59	1178.700527	58027	CUT-PAW-PAW	2478	144.846424	-37.80583	310413	5813544	55		29.55	27/11/1990	40.7	Groundwater	Groundwater Investigation		N	WAGER J		ROTARY	0	15035

\*Site radius approximately 200 m

## **Preliminary Environmental Contamination and Gas Assessment**

### **BMF Construction**

**35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria**

## **Appendix C: DELWP Groundwater Resource Report**

# Groundwater Resource Report

Groundwater catchment: West Port Phillip Bay

VICGRID94 Easting: 2487609 Northing: 2410770

Depth to water table: 5 - 10m

Water table salinity (mg/L): 3501 - 7000

Groundwater layers (Aquifers and Aquitards)	Depth below surface (m)	Groundwater salinity (mg/L)
UTB Upper Tertiary / Quaternary Basalt basalt (fractured rock)	0 - 13	1001 - 3500
UTAF Upper Tertiary Aquifer (fluvial) sand, gravel and clay	13 - 37	3501 - 13000
UMTD Lower Mid-Tertiary Aquitard clay, silt, siltstone (fractured rock), marl (fractured rock), minor sand	37 - 57	Unknown
LTA Lower Tertiary Aquifer sand, gravel, clay and silt, minor coal	57 - 139	3501 - 13000
BSE Mesozoic and Palaeozoic Bedrock (basement) sedimentary (fractured rock): Sandstone, siltstone, mudstone, shale. Igneous (fractured rock): includes volcanics, granites, granodiorites.	139 - 339	3501 - 13000

*There are no GMUs at this location*

**For further information about this report contact:**

Department of Environment, Land, Water & Planning

Email: [ground.water@delwp.vic.gov.au](mailto:ground.water@delwp.vic.gov.au)

**For further information on groundwater licensing in this area contact:**

Southern Rural Water Corporation

Phone: 1300 139 510

Email: [srw@srw.com.au](mailto:srw@srw.com.au)

Website: [www.srw.com.au](http://www.srw.com.au)

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Environment,  
Land, Water  
and Planning

## Introduction

Groundwater is part of the water cycle. When rain or snow falls on land, some of it evaporates, some flows to streams and rivers, and some seeps into the soil. Some of the water in the soil is used by plants but some continues to move down through the soil and rock until all the pores and cracks are full of water. This is known as the water table and this water is called groundwater.

Groundwater is a finite resource that, like surface water, is allocated under the Water Act (1989). A Bore Construction Licence is required to drill for groundwater including for domestic and stock purposes. Taking and using groundwater for commercial or irrigation purposes requires an additional licence.

## Purpose of this report

This report has been prepared to provide potential groundwater users with basic information about groundwater beneath their property. This includes the different geological layers, the depths of the layers and the salinity of groundwater in the layers. Information on the groundwater management units (GMU) and any associated caps on the volume that can be licensed (the PCV) are also provided.

## Definitions and context

Term	Description
Groundwater Catchment	An identified area of the State within which groundwater resources are connected.
Easting / Northing	The VICGRID 94 coordinates of the spot that was selected on the interactive map.
Groundwater Salinity	Indicates the possible concentration of salts within the groundwater. The salt content indicates the possible uses of the water (see the Beneficial Use Table below). Fertilisers and other contaminants can also enter groundwater and affect its use. It is up to you to make sure that the groundwater you use is suitable for your purpose.
Aquifer	An aquifer is a layer of soil or rock which stores usable volumes of groundwater. Aquifers are generally limestones, gravels and sands, as well as some fractured rocks where the cracks in the rock are open and connected (some basalts, sandstones and limestones). How much water can be pumped from an aquifer depends on how much water is stored in pores and cracks, how well connected the pores and cracks are, and how thick the layer is. It is more likely that volumes of water for irrigation and urban water supply will come from gravels, sands, limestones and basalts that are at least 30 metres thick. Low volumes of water for domestic and stock use are likely from any aquifer greater than 10 metres thick. The advice above is a guide only, as the amount of water available can be highly variable. Actual pumping volumes can only be determined from drilling, appropriate construction and testing of a bore.
Aquitard	An aquitard is a layer of rock or soil that does not allow water to move through it easily, limiting its capacity to supply water. Aquitards are generally silts, clays and fractured rocks (where there are few cracks in the rock or the cracks are poorly connected).
Groundwater Management Unit (GMU)	A collective term for groundwater management areas (GMAs) and water supply protection areas (WSPAs). GMAs and WSPAs are defined areas and depths below the surface where rules for groundwater use may apply. WSPAs often have caps on groundwater use and plans describing how the resource is managed. GMAs usually have caps on groundwater use and may have local plans and rules. All other areas are managed directly through the Water Act (1989). Always check with your local Rural Water Corporation to be sure that the information on the GMU is correct for your specific location.
Permissible Consumptive Volume (PCV)	A cap that is set under the Water Act (1989) declaring the total volume of groundwater that may be taken from the area. Once the PCV is reached, no additional extraction can be licensed for use within the area unless traded from another groundwater licence holder.
Depth to Water Table	This is an indication of the depth at which groundwater might first be encountered when drilling a bore. The depth can vary from year to year, and from place to place and may vary significantly from that indicated in this report.

## Beneficial Use Table

Salinity range (mg/L TDS)	Beneficial use as described by State Environment Protection Policy (Groundwaters of Victoria) s160							
	Potable water - preferred	Potable water - acceptable	Potable mineral water	Irrigation	Stock water	Industry	Ecosystem protection	Buildings and structures
<500	✓	✓	✓	✓	✓	✓	✓	✓
501-1000		✓	✓	✓	✓	✓	✓	✓
1001-3500			✓	✓	✓	✓	✓	✓
3501-13000					✓	✓	✓	✓
13001+						✓	✓	✓

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November 2019

Level 1 / 677 High Street  
Kew East VIC 3102  
Australia

## **Preliminary Environmental Contamination and Gas Assessment**

### **BMF Construction**

**35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria**

## **Appendix D: GQRUZ Maps**

# Groundwater zone with restricted uses

## FOOTSCRAY WEST

This zone has been cleaned up to the relevant environmental standards (section 53X environmental audit) but is still subject to restricted groundwater uses.

### Environmental audit site

CORNER ASHLEY AND ALMA STREETS  
FORMER SHELL DILOMA SERVICE  
STATION FOOTSCRAY WEST VIC 3011






### Restrictions on use

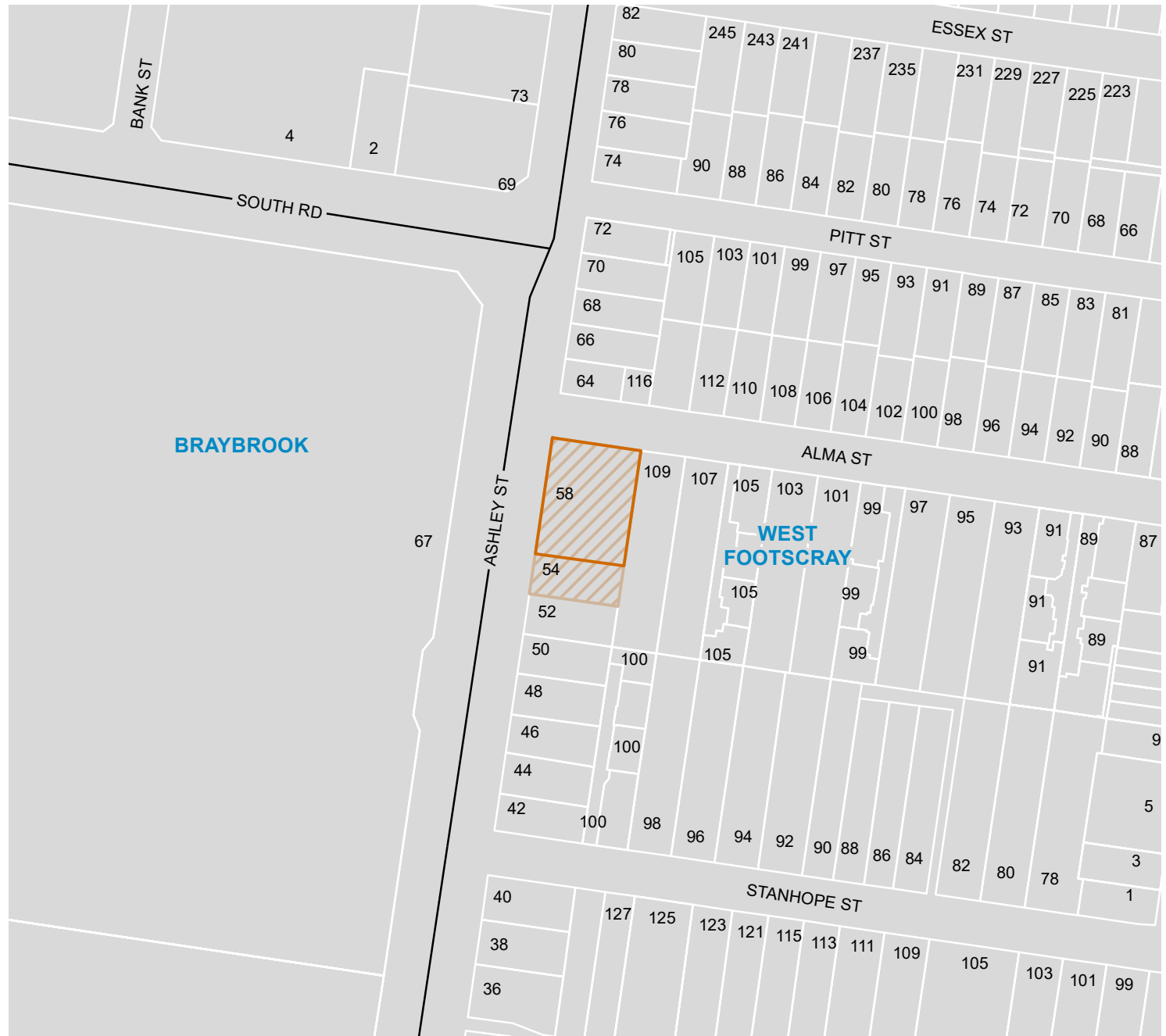
Drinking water  
Livestock water supply  
Irrigation of crops (including domestic gardens) and parks  
Water used for recreational purposes (e.g. swimming)

### Site history

Service station/fuel storage

### Legend

-  Environmental audit site
-  Groundwater zone with restricted uses
-  Properties
-  Unit/house/building number
-  Primary road



Disclaimer: The map represents an approximate estimation of an area where groundwater quality has been impacted by human activities. It does not provide information on the naturally occurring quality of groundwater, which can also have restrictions on its use. The environmental audit boundary and groundwater zone are based on land parcel boundaries at the time of mapping. Subsequent changes to land parcel boundaries do not change the location of the zone.



0 25 50 Metres

EPA CARMS ID: 43357-1  
EPA IBIS ID: 7000054  
Map generated on: 05 Nov 2019

This map may also contain data from:



For more information  
contact 1300 EPA VIC

# Groundwater zone with restricted uses

## FOOTSCRAY

This zone has been cleaned up to the relevant environmental standards (section 53X environmental audit) but is still subject to restricted groundwater uses.

### Environmental audit site

68 CROSS ST FOOTSCRAY VIC 3011






### Restrictions on use

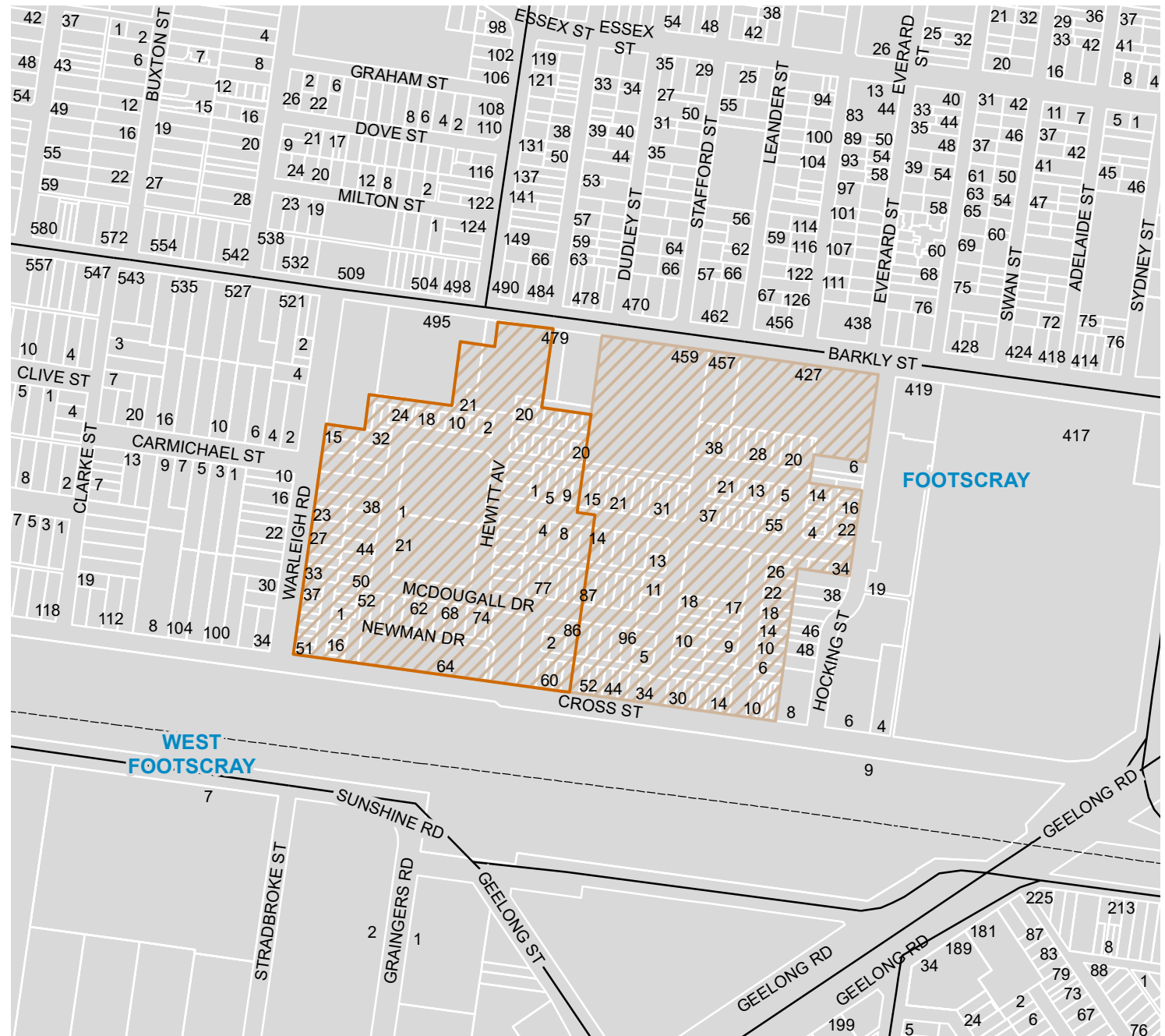
- Drinking water
- Irrigation of crops (including domestic gardens) and parks
- Water used for recreational purposes (e.g. swimming)

### Site history

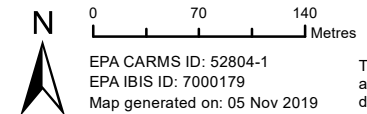
Tyre manufacturing

### Legend

-  Environmental audit site
-  Groundwater zone with restricted uses
-  Properties
-  Unit/house/building number
-  Primary road



Disclaimer: The map represents an approximate estimation of an area where groundwater quality has been impacted by human activities. It does not provide information on the naturally occurring quality of groundwater, which can also have restrictions on its use. The environmental audit boundary and groundwater zone are based on land parcel boundaries at the time of mapping. Subsequent changes to land parcel boundaries do not change the location of the zone.



EPA CARMS ID: 52804-1  
EPA IBIS ID: 7000179  
Map generated on: 05 Nov 2019

This map may also contain data from:



For more information contact 1300 EPA VIC

# Groundwater zone with restricted uses

## FOOTSCRAY WEST

This zone has been cleaned up to the relevant environmental standards (section 53X environmental audit) but is still subject to restricted groundwater uses.

### Environmental audit site

12 - 36 CROSS ST FOOTSCRAY WEST VIC 3011






### Restrictions on use

Drinking water  
Irrigation of crops (including domestic gardens) and parks  
Water used for recreational purposes (e.g. swimming)

### Site history

Tyre manufacturing

### Legend

-  Environmental audit site
-  Groundwater zone with restricted uses
-  Properties
-  Unit/house/building number
-  Primary road



Disclaimer: The map represents an approximate estimation of an area where groundwater quality has been impacted by human activities. It does not provide information on the naturally occurring quality of groundwater, which can also have restrictions on its use. The environmental audit boundary and groundwater zone are based on land parcel boundaries at the time of mapping. Subsequent changes to land parcel boundaries do not change the location of the zone.



0 35 70 Metres

EPA CARMS ID: 52806-1

EPA IBIS ID: 7000180

Map generated on: 05 Nov 2019

This map may also contain data from:



For more information contact 1300 EPA VIC

# Groundwater zone with restricted uses

## BROOKLYN

This zone has been cleaned up to the relevant environmental standards (section 53X environmental audit) but is still subject to restricted groundwater uses.

### Environmental audit site

11 MILLERS RD BROOKLYN VIC 3012






### Restrictions on use

Drinking water  
Livestock water supply  
Water used for recreational purposes (e.g. swimming)

### Site history

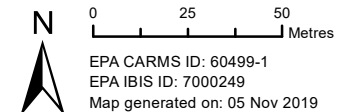
Manufacturing - general

### Legend

-  Environmental audit site
-  Groundwater zone with restricted uses
-  Properties
-  452 Unit/house/building number
-  Primary road



Disclaimer: The map represents an approximate estimation of an area where groundwater quality has been impacted by human activities. It does not provide information on the naturally occurring quality of groundwater, which can also have restrictions on its use. The environmental audit boundary and groundwater zone are based on land parcel boundaries at the time of mapping. Subsequent changes to land parcel boundaries do not change the location of the zone.



This map may also contain data from:  


# Groundwater zone with restricted uses

## FOOTSCRAY

This zone has been cleaned up to the relevant environmental standards (section 53X environmental audit) but is still subject to restricted groundwater uses.

### Environmental audit site

52 - 54 CROSS ST FOOTSCRAY VIC 3011






### Restrictions on use

Drinking water  
Livestock water supply  
Irrigation of crops (including domestic gardens) and parks  
Water used for recreational purposes (e.g. swimming)

### Site history

Foundry

### Legend

-  Environmental audit site
-  Groundwater zone with restricted uses
-  Properties
-  Unit/house/building number
-  Primary road



Disclaimer: The map represents an approximate estimation of an area where groundwater quality has been impacted by human activities. It does not provide information on the naturally occurring quality of groundwater, which can also have restrictions on its use. The environmental audit boundary and groundwater zone are based on land parcel boundaries at the time of mapping. Subsequent changes to land parcel boundaries do not change the location of the zone.

N  
0 25 50 Metres  
EPA CARMS ID: 63188-1  
EPA IBIS ID: 7000288  
Map generated on: 05 Nov 2019

This map may also contain data from:  


# Groundwater zone with restricted uses

## YARRAVILLE

This zone has been cleaned up to the relevant environmental standards (section 53X environmental audit) but is still subject to restricted groundwater uses.

### Environmental audit site

341 - 351 FRANCIS ST YARRAVILLE VIC 3013






### Restrictions on use

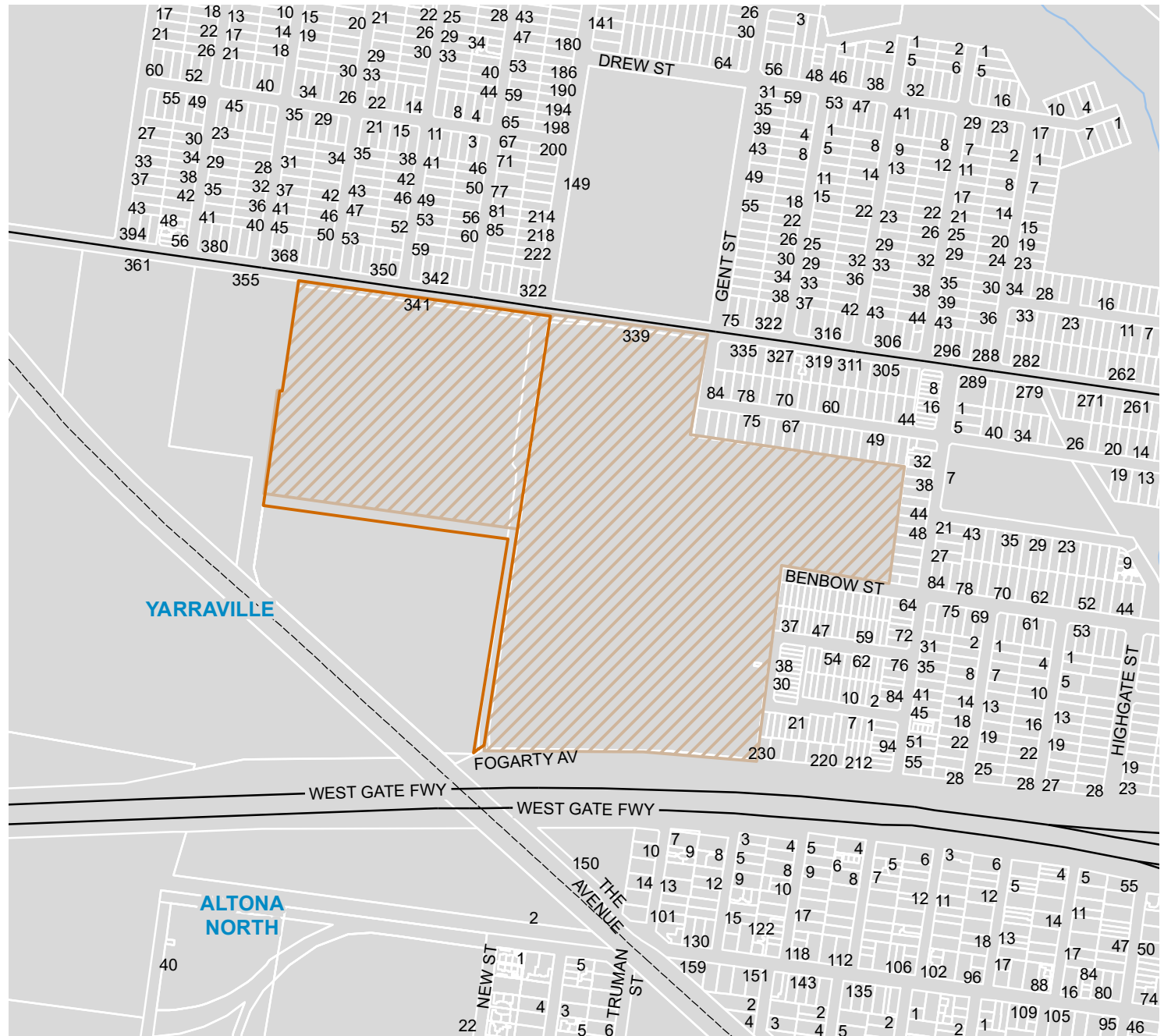
- Drinking water
- Livestock water supply
- Irrigation of crops (including domestic gardens) and parks
- Water used for recreational purposes (e.g. swimming)
- Water used for industrial purposes

### Site history

Textile manufacturer/operations

### Legend

-  Environmental audit site
-  Groundwater zone with restricted uses
-  Properties
-  452 Unit/house/building number
-  Primary road



Disclaimer: The map represents an approximate estimation of an area where groundwater quality has been impacted by human activities. It does not provide information on the naturally occurring quality of groundwater, which can also have restrictions on its use. The environmental audit boundary and groundwater zone are based on land parcel boundaries at the time of mapping. Subsequent changes to land parcel boundaries do not change the location of the zone.

N  
0 100 200 Metres  
EPA CARMS ID: 64443-2  
EPA IBIS ID: 7000670  
Map generated on: 05 Nov 2019

This map may also contain data from:



For more information contact 1300 EPA VIC

# Groundwater zone with restricted uses

## BRAYBROOK

This zone has been cleaned up to the relevant environmental standards (section 53X environmental audit) but is still subject to restricted groundwater uses.

### Environmental audit site

2A BEACHLEY ST BRAYBROOK VIC 3019






### Restrictions on use

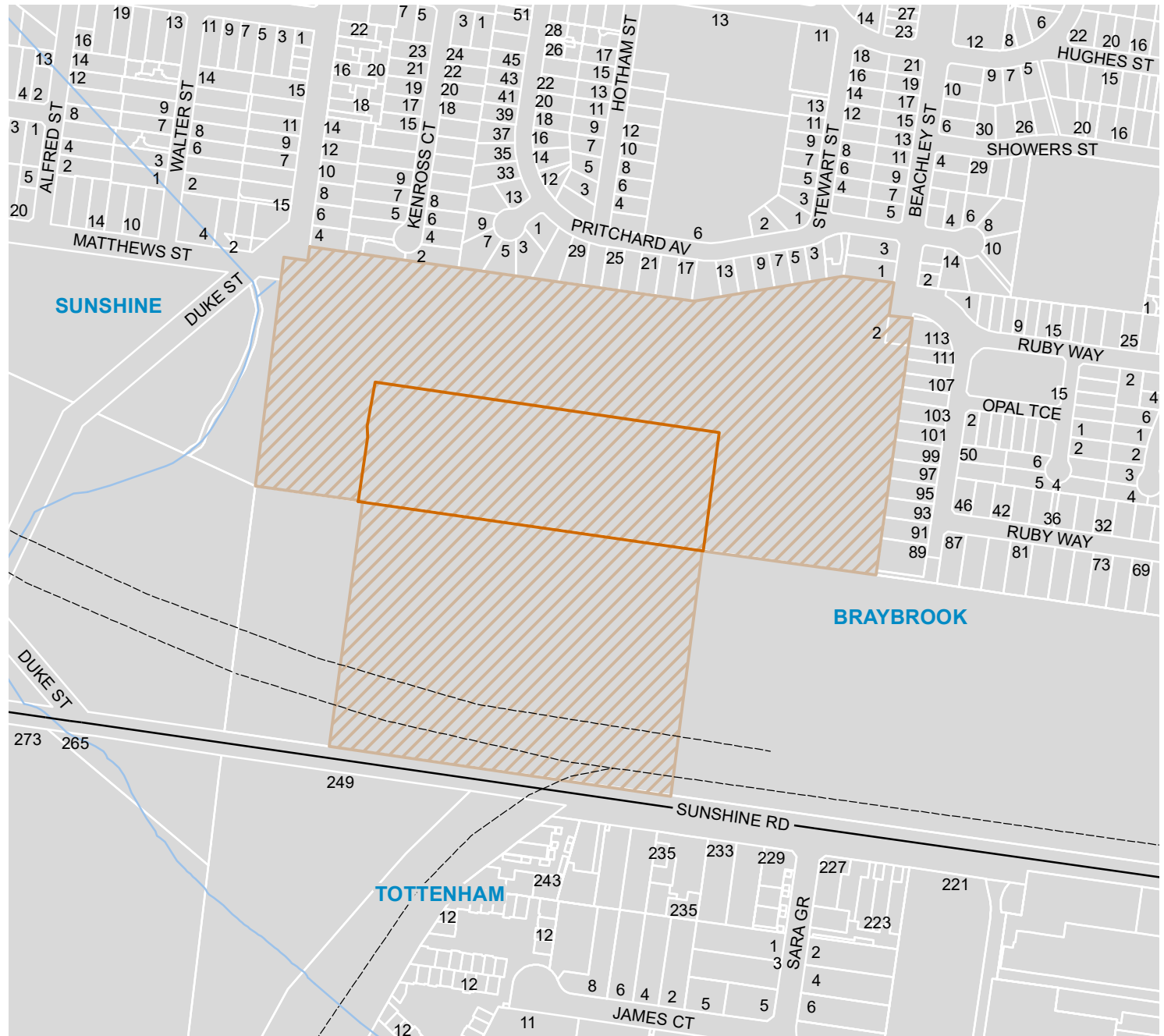
- Drinking water
- Livestock water supply
- Irrigation of crops (including domestic gardens) and parks
- Water used for recreational purposes (e.g. swimming)
- Water used for industrial purposes

### Site history

Defence works

### Legend

-  Environmental audit site
-  Groundwater zone with restricted uses
-  Properties
-  452 Unit/house/building number
-  Primary road



Disclaimer: The map represents an approximate estimation of an area where groundwater quality has been impacted by human activities. It does not provide information on the naturally occurring quality of groundwater, which can also have restrictions on its use. The environmental audit boundary and groundwater zone are based on land parcel boundaries at the time of mapping. Subsequent changes to land parcel boundaries do not change the location of the zone.



0 70 140 Metres

EPA CARMS ID: 66892-2  
EPA IBIS ID: 7001372  
Map generated on: 05 Nov 2019

This map may also contain data from:



For more information  
contact 1300 EPA VIC

## **Preliminary Environmental Contamination and Gas Assessment**

### **BMF Construction**

**35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria**

## **Appendix E: Site Inspection Photographs**



Overview of the site, facing north east



Overview of the south west corner of site, facing south



Overview of the southern portion of site, facing east



Overview of the northern portion of site, facing east



Overview of the central portion of site, facing east



Dam in south west corner of site

## **Preliminary Environmental Contamination and Gas Assessment**

### **BMF Construction**

**35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria**

## **Appendix F: Historical Certificates of Title**

**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

VOLUME 08955 FOLIO 891

Security no : 124079850225F  
Produced 21/10/2019 04:05 PM

**LAND DESCRIPTION**

Lot 1 on Title Plan 806290H.  
PARENT TITLE Volume 08351 Folio 059  
Created by instrument E422203 14/06/1972

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
PARAMOUNT VICTORIA PTY LTD of 7 FACTORIES ROAD SOUTH GEELONG VIC 3220  
AF044328C 04/05/2007

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP806290H FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 99 OLYMPIA STREET TOTTENHAM VIC 3012

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 20345Y PIPER ALDERMAN  
Effective from 14/12/2018

DOCUMENT END



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Document Type	<b>Plan</b>
Document Identification	<b>TP806290H</b>
Number of Pages (excluding this cover sheet)	<b>1</b>
Document Assembled	<b>21/10/2019 16:09</b>

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**TITLE PLAN**

**EDITION 1**

**TP 806290H**

**Location of Land**

Parish : CUT- PAW- PAW  
 Township : -  
 Crown Allotment: 1 (PT)  
 Portion: 4  
 Section : 12  
 Base record : DCMB  
 Last Plan Reference : LP 18304  
 Derived From : VOL. 8955 FOL. 891  
 Depth Limitation : NIL

**Notations**

ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN

**Description of Land/ Easement Information**

Together with a right of carriage way over the road coloured brown on -  
 the said map- - - - -

**ENCUMBRANCES**

AS TO THE LAND COLOURED BLUE  
 DRAINAGE AND SEWERAGE EASEMENTS (IF ANY)  
 EXISTING OVER THE SAME BY VIRTUE OF  
 SECTION 98 OF THE TRANSFER OF LAND ACT  
 VIDE LP 18304

THIS PLAN HAS BEEN PREPARED BY  
 LAND REGISTRY, LAND VICTORIA FOR  
 TITLE DIAGRAM PURPOSES

COMPILED: Date 14/07/05

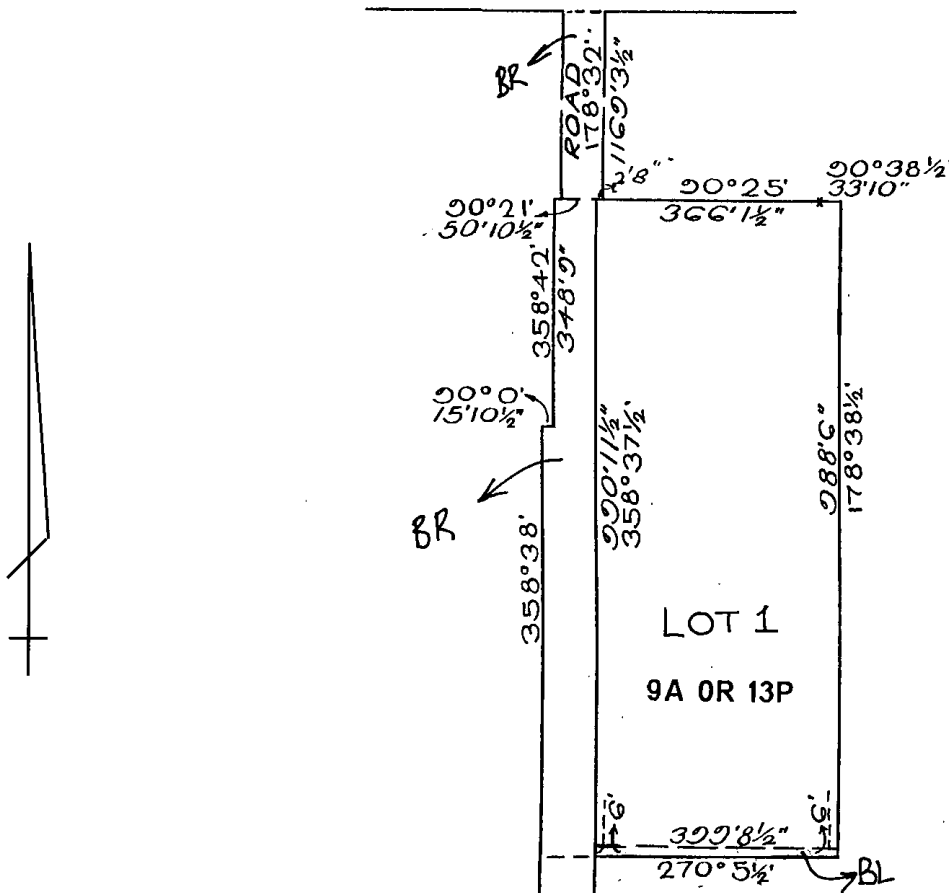
VERIFIED: A. DALLAS

Assistant Registrar of Titles

**COLOUR CODE**

BL=BLUE G=GREEN  
 BR=BROWN P=PURPLE  
 Y=YELLOW R=RED

**SUNSHINE ROAD**



**TABLE OF PARCEL IDENTIFIERS**

WARNING: Where multiple parcels are referred to or shown on the Title Plan this does  
 Not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962

LOT 1 = CA 1 (PT)

LENGTHS ARE IN  
 FEET AND INCHES

Metres = 0.3048 x Feet  
 Metres = 0.201168 x Links

**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

VOLUME 07161 FOLIO 115

Security no : 124079850616F  
Produced 21/10/2019 04:17 PM

**LAND DESCRIPTION**

Lots 1 and 2 on Title Plan 806261Q.  
PARENT TITLES :  
Volume 07161 Folio 113 to Volume 07161 Folio 114  
Created by instrument 2152342 14/07/1948

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
PARAMOUNT VICTORIA PTY LTD of 7 FACTORIES ROAD SOUTH GEELONG VIC 3220  
AF044328C 04/05/2007

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP806261Q FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 20345Y PIPER ALDERMAN  
Effective from 14/12/2018

DOCUMENT END



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Number of Pages (excluding this cover sheet)	<b>1</b>
Document Assembled	<b>21/10/2019 16:21</b>

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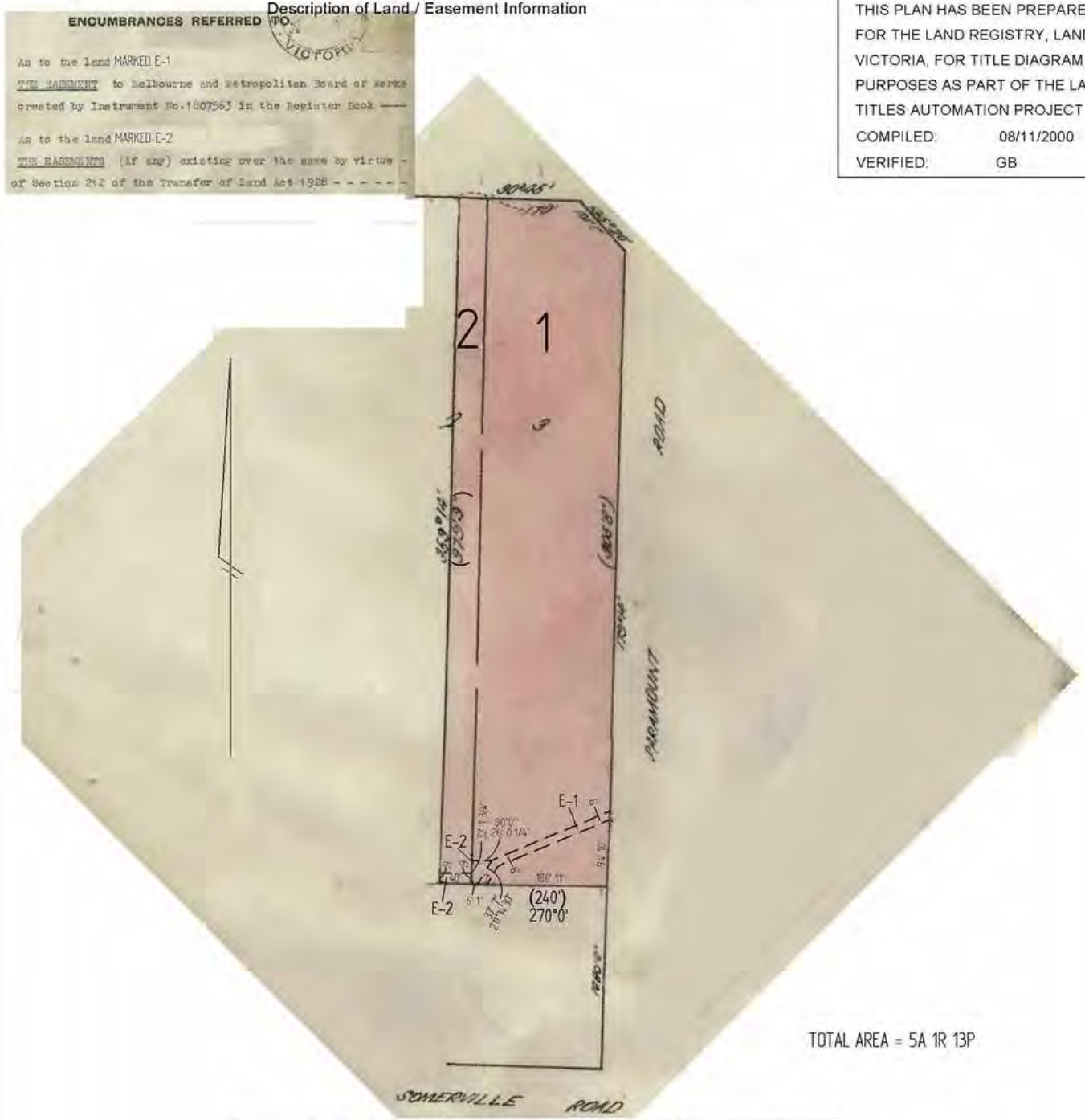
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<b>TITLE PLAN</b>	<b>EDITION 1</b>	<b>TP 806261Q</b>
-------------------	------------------	-------------------

<p><b>Location of Land</b></p> <p>Parish: CUT-PAW-PAW          Township:          Section: 12          Crown Allotment: 2(PT)          Portion: 4</p> <p>Last Plan Reference: LP 18304          Derived From: VOL 7161 FOL 115          Depth Limitation: NIL</p>	<p><b>Notations</b></p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>
---	--

<p><b>ENCUMBRANCES REFERRED TO.</b></p> <p>As to the land MARKED E-1  <u>THE EASEMENT</u> to Melbourne and Metropolitan Board of works created by Instrument No.1807563 in the Register Book —</p> <p>As to the land MARKED E-2  <u>THE EASEMENTS</u> (if any) existing over the same by virtue of Section 21.2 of the Transfer of Land Act 1928 - - - - -</p>	<p><b>Description of Land / Easement Information</b></p> <p>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT</p> <p>COMPILED: 08/11/2000          VERIFIED: GB</p>
--	--



TOTAL AREA = 5A 1R 13P

TABLE OF PARCEL IDENTIFIERS	
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962	
PARCEL 1	= LOT 3 ON LP 18304
PARCEL 2	= LOT 2 (PT) ON LP 18304

LENGTHS ARE IN FEET & INCHES	Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 1 sheets
------------------------------	---	---------------------

**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

VOLUME 07557 FOLIO 004

Security no : 124079850615G  
Produced 21/10/2019 04:17 PM

**LAND DESCRIPTION**

Lot 1 on Title Plan 806328J.  
PARENT TITLE Volume 07161 Folio 113  
Created by instrument 2276993 12/01/1950

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
PARAMOUNT VICTORIA PTY LTD of 7 FACTORIES ROAD SOUTH GEELONG VIC 3220  
AF044328C 04/05/2007

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP806328J FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 35-65 PARAMOUNT ROAD TOTTENHAM VIC 3012

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 20345Y PIPER ALDERMAN  
Effective from 14/12/2018

DOCUMENT END



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Document Identification	<b>TP806328J</b>
Number of Pages (excluding this cover sheet)	<b>2</b>
Document Assembled	<b>21/10/2019 16:21</b>

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<b>TITLE PLAN</b>	<b>EDITION 1</b>	<b>TP 806328J</b>
-------------------	------------------	-------------------

<p><b>Location of Land</b></p> <p>Parish: CUT-PAW-PAW          Township:          Section: 12          Portion: 4          Crown Allotment: 2 (PT)</p> <p>Last Plan Reference: LP 18304          Derived From: VOL 7557 FOL 004          Depth Limitation: NIL</p>	<p style="text-align: center;"><b>Notations</b></p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>
--	--

<p style="text-align: center;"><b>Description of Land / Easement Information</b></p> <div style="background-color: #f0f0f0; padding: 10px; border: 1px solid #ccc;"> <p style="text-align: center;"><i>All that piece of Land, delineated and coloured</i></p> <p>red, blue, green and purple on the map in the margin containing One acre Two roods and Twenty-two perches or thereabouts being part of Lot 2 on Plan of Subdivision - No.18304 lodged in the Office of Titles and being part of Crown Allotment Two --- Portion Four Section Twelve Parish of Cut Paw Paw County of Bourke - Together with a right of carriage way over the road coloured brown on the said map- - -</p> </div> <p><b>ENCUMBRANCES REFERRED TO.</b></p> <div style="background-color: #f0f0f0; padding: 10px; border: 1px solid #ccc;"> <p>As to the land coloured blue ---  <u>THE EASEMENTS</u> (if any) existing over the same by virtue of Section 212 of the Transfer of - Land Act 1928 - - - - -</p> <p>As to the land coloured green ---  <u>THE DRAINAGE AND SEWERAGE EASEMENT</u> reserved by Instrument of Transfer No.2276993 in the ---- Register Book - - - - -</p> <p>As to the land coloured purple ---  <u>THE SEWERAGE EASEMENT</u> reserved by-- the said Instrument of Transfer ---- No.2276993 - - - - -</p> </div>	<p>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT</p> <p>COMPILED: 05/06/2000          VERIFIED: AK</p> <p style="font-size: 24pt; font-weight: bold;">SEE SHEET 2 FOR DIAGRAM</p>
--	--

TITLE PLAN

TP 806328J

COLOUR CODE

BL = BLUE BR = BROWN G = GREEN

P = PURPLE R = RED

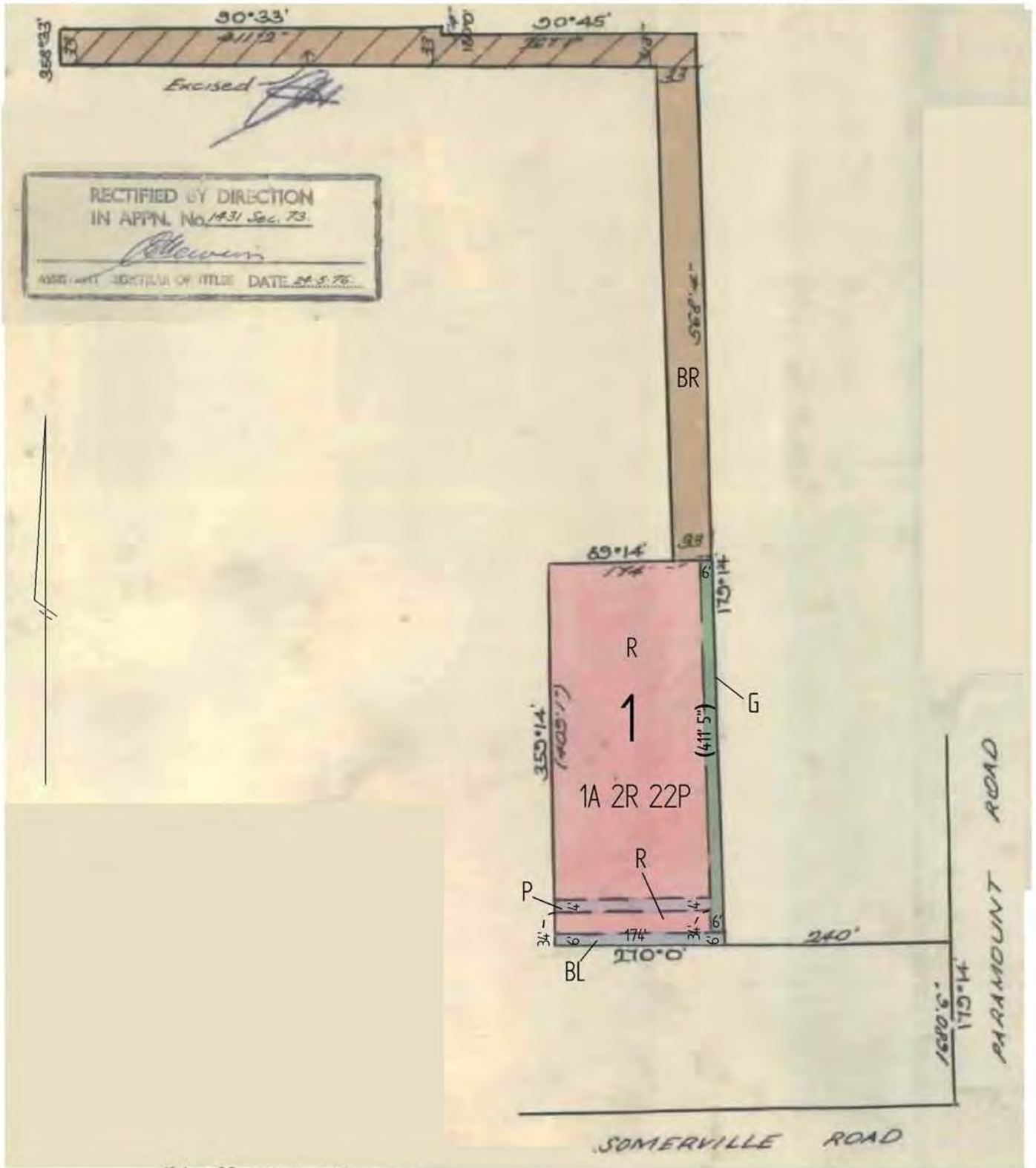


TABLE OF PARCEL IDENTIFIERS
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962
PARCEL 1 = LOT 2 (PT) ON LP 18304



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**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

Page 1 of 1

VOLUME 07161 FOLIO 113

Security no : 124079850617E  
Produced 21/10/2019 04:17 PM

**LAND DESCRIPTION**

Lot 1 on Title Plan 806244Q.  
PARENT TITLE Volume 07043 Folio 490  
Created by instrument 2084178 09/07/1948

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
PARAMOUNT VICTORIA PTY LTD of 7 FACTORIES ROAD SOUTH GEELONG VIC 3220  
AF044328C 04/05/2007

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP806244Q FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 35-65 PARAMOUNT ROAD TOTTENHAM VIC 3012

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 20345Y PIPER ALDERMAN  
Effective from 14/12/2018

DOCUMENT END



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<b>TITLE PLAN</b>	<b>EDITION 1</b>	<b>TP 806244Q</b>
-------------------	------------------	-------------------

**Location of Land**

Parish: CUT-PAW-PAW  
 Township:  
 Section: 12  
 Portion: 4  
 Crown Allotment: 1 (PT), 2 (PT)

Last Plan Reference: LP 18304  
 Derived From: VOL 7161 FOL 113  
 Depth Limitation: NIL

**Notations**

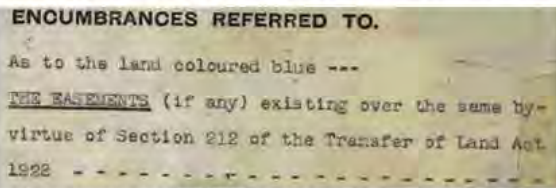
ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN

**Description of Land / Easement Information**

A-1 = SEWERAGE EASEMENT APPURTENANT TO THE WITHIN LAND CREATED BY TRANSFER 2276993  
 A-2 = DRAINAGE & SEWERAGE EASEMENT APPURTENANT TO THE WITHIN LAND CREATED BY TRANSFER 2276993

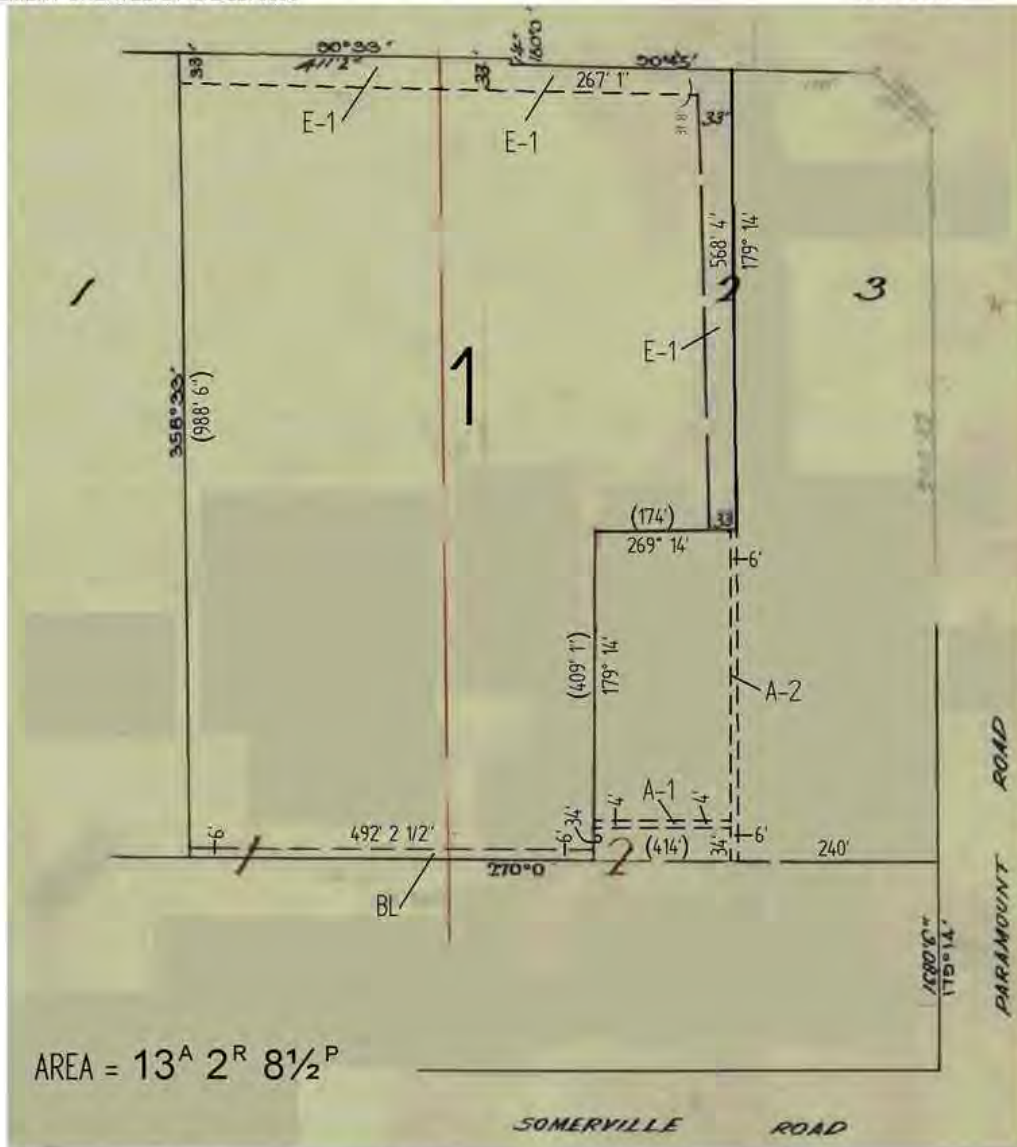
THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT

COMPILED: 04/09/2000  
 VERIFIED: AK



E-1 = CARRIAGEWAY EASEMENT CREATED BY C/E 2276993

**COLOUR CODE**  
 BL = BLUE



AREA = 13<sup>A</sup> 2<sup>R</sup> 8½<sup>P</sup>

TABLE OF PARCEL IDENTIFIERS	
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962	
PARCEL 1 = LOT 2 (PT) ON LP 18304	

Produced 21/10/2019 04:17 PM

Volume 8351 Folio 059  
Folio Creation: Details Unknown  
Parent title Volume 07043 Folio 490

STATEMENT END

**VOTS Snapshot**

NIL

---

**Paper Title Images**

8351/059 - Version 0, Date 01/12/1999

**ORIGINAL**

**NOT TO BE TAKEN FROM THE OFFICE OF TITLES**



VICTORIA

**CANCELLED**

REGISTER BOOK

VOL. 8351 FOL. 059

# Certificate of Title

UNDER THE "TRANSFER OF LAND ACT"

PARCELS INDEX  
X  
SECONDARY STORAGE

VOL. 8351 FOL. 059

**FELT AND TEXTILES OF AUSTRALIA LIMITED** of Bank House Bank Place

Melbourne is now the proprietor of an estate in fee simple subject to the encumbrances notified hereunder in ALL THAT piece of land - delineated and coloured red and blue on the map in the margin ---- containing Nine acres and Fourteen perches or thereabouts being -- Lot One on Plan of Subdivision No.18304 Parish of Cut Paw Paw ---

Dated the 9th day of July 1957.

A Right of Carriage way appurtenant to the within land has been ----- created by Instrument E50907 ----- Registered 24th May 1971 -----



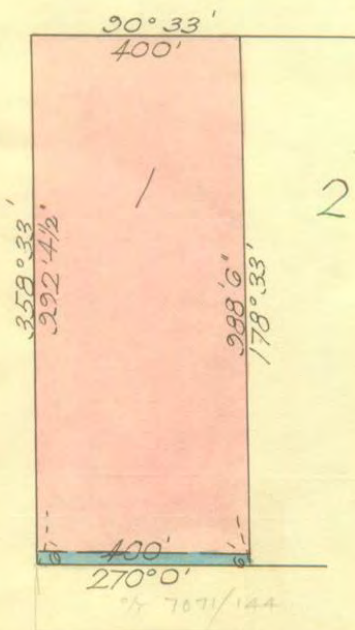
*Seronin*



Assistant Registrar of Titles

ENCUMBRANCES REFERRED TO

As to the land coloured blue ---  
THE EASEMENTS (if any) existing over the same by virtue of Section 98 of the Transfer of Land Act -----



A right of carriage way appurtenant to the within land has been created by ----- Instrument No. E422202 ----- Registered 14th June 1972 -----



MEASUREMENTS ARE IN Feet & Inches.

Derived from Vol.7043 Fol.490 A365667.

VOL.

FOL.

INSTRUMENT

APPLICATION

CAVEAT No. 1365670 LODGED <sup>14</sup> July 1957

CAVEAT No. 23-11-72



CANCELLED

APPLICATION No. 422203

Registered 14 June 1972 See Vol. 8955 Fol. 891



CANCELLED



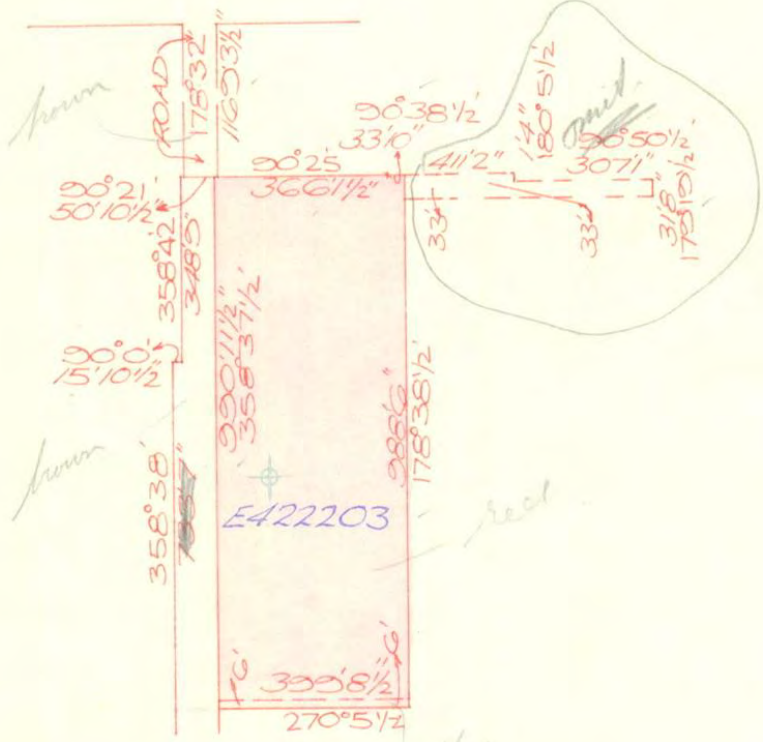
T08351-059-1-0

SCALE: 30 FEET. to one inch

Volume 8351 Folio 050

APPLY 1978 SEC 103  
14 - 6 - 72

SUNSHINE ROAD



E422203

SL 14/15-12-72.

SHEET 2.

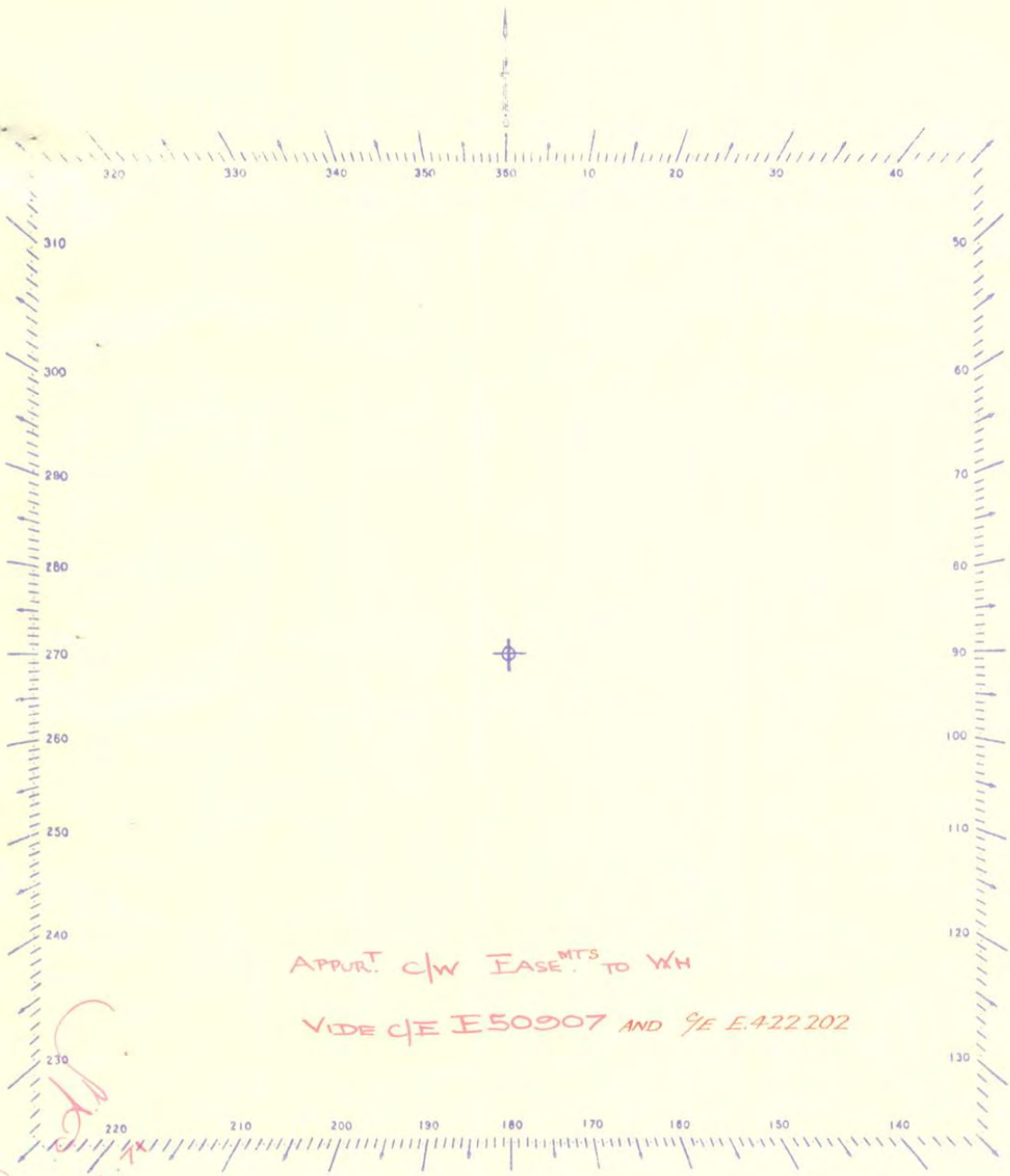
Natural Resources and Environment  
AGRICULTURE • RESOURCES • CONSERVATION • LAND MANAGEMENT

**INTENTIONALLY  
BLANK**



SCALE: to one inch


Volume 6351 Folio 059



APPURT. C/W EASE<sup>MTS</sup> TO WH  
 VIDE C/E E50907 AND G/E E.422202

*Handwritten signature and initials*  
 B. D. K.

SHEET 1.

 Natural Resources and Environment  
AGRICULTURE • WILDLIFE • CONSERVATION • LAND MANAGEMENT

**INTERNATIONALLY**

 **BLANK** 



Produced 21/10/2019 04:27 PM

Volume 7043 Folio 490  
Folio Creation: Details Unknown  
Parent title Volume 05647 Folio 269

STATEMENT END

**VOTS Snapshot**

NIL

---

**Paper Title Images**

7043/490 - Version 0, Date 13/04/1999



Entered in the Register Book

Vol. 7043 Fol. 1408490

VICTORIA.

# Certificate of Title,

UNDER THE "TRANSFER OF LAND ACT 1928."

PARCELS INDEX  
SECONDARY STORAGE

Federal Felters Proprietary Limited of Bank House Bank Place Melbourne is -  
 now the proprietor of an Estate in Fee-simple, subject to the Encumbrances  
 notified hereunder in All that piece of Land, delineated and coloured  
 red and blue on the map in the margin containing Twenty-nine acres Two roods and-  
 Eighteen perches or thereabouts being part of Crown Allotments One and Two -----  
 Portion Four Section Twelve Parish of Cut Paw Paw County of Bourke -----  
 Together with a right of carriage way over the road coloured brown on the said --  
 map and over the roads coloured brown on Plan of Subdivision No.12575 lodged in -  
 the Office of Titles and Together with a right to use the said road coloured --  
 brown hereon for drainage purposes and Together with a right of drainage and ---  
 sewerage over the said roads, coloured brown on the said Plan of Subdivision -----

Dated the Twenty-fifth day of June One  
 thousand nine hundred and forty-seven.

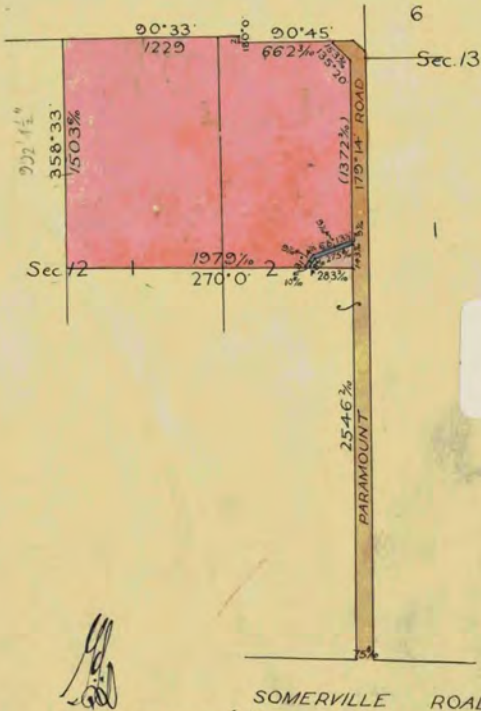
*H. Newman*  
 Assistant Registrar of Titles.



ORIGINAL CERTIFICATE.  
Not to be dealt with outside the Titles Office.

### ENCUMBRANCES REFERRED TO.

As to the land coloured blue ---  
 THE BASEMENT to Melbourne and Metropolitan-  
 Board of Works created by Instrument -----  
 No.1807563 in the Register Book - - - - -



C/995

660  
 590  
 52  
 1306  
 135  
 50  
 1092

PART OF THE WITHIN LAND IS  
SHOWN AS A ROAD (AND/OR  
DRAIN) ON L.P. 18304.

*[Signature]*

The Measurements are in links

SOMERVILLE ROAD

TRANSFER AS TO PART to  
British Australian Carpet Manufacturing  
Company Proprietary Limited registered  
on 9<sup>th</sup> July 1948 numbered 2084178

CANCELLED AS TO PART See Certificate of Title

Vol. 7161 Fol. 1432113

*W. J. Williamson*

Area 16<sup>A</sup> - 0<sup>R</sup> - 15<sup>P</sup>

Assistant Registrar of Titles.

TRANSFER AS TO PART to  
Daylesford Woollen and Worsted Mills  
Proprietary Limited registered  
on 9<sup>th</sup> July 1948 numbered 2084179

CANCELLED AS TO PART See Certificate of Title

Vol. 7161 Fol. 1432114

*W. J. Williamson*

Area 4<sup>A</sup> - 1<sup>R</sup> - 29<sup>P</sup>

Assistant Registrar of Titles.

CAVEAT No 122118 LODGED 30<sup>th</sup> June 1950 *WJ*

CAVEAT WITHDRAWN 29<sup>th</sup> June 1956 *WJ*

CAVEAT No. A186481. LODGED 10<sup>th</sup> July 1956 *WJ*

CAVEAT WITHDRAWN 9<sup>th</sup> July 1957 *WJ*

CAVEAT No A365670 LODGED - 9 JUL 1957

Caveat transferred to new C/T

TRANSFER AS TO BALANCE No. A365667

registered 9 July 1957

CANCELLED See Vol. 8351 Fol. 059



CANCELLED

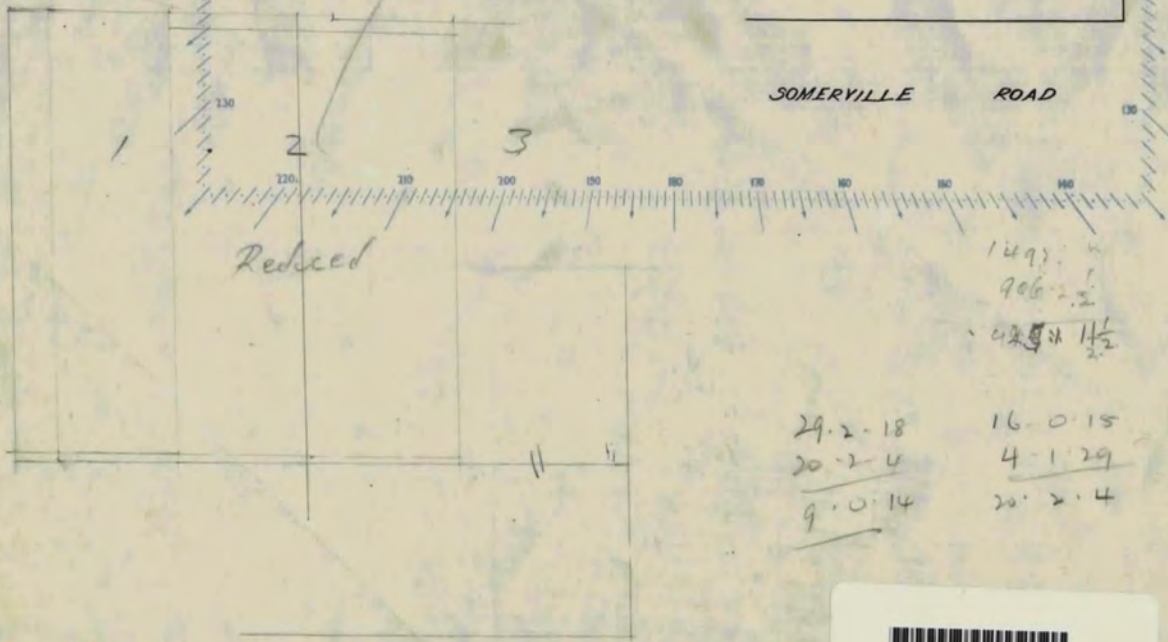
DUP. WITH

1<sup>st</sup> AUG 1957

SCALE: 200 feet to one inch.

Vol. 7043 fol. 490

412.7  
307.1  
150  
8-1-19.3



SOMERVILLE ROAD

PARAMOUNT ROAD

149.5  
906.2  
428.5 x 1 1/2


29.2.18	16.0.15
20.2.4	4.1.29
9.0.14	20.2.4

L.P. 18304.




T07043-490-2-5

Like photos.

 Natural Resources and Environment  
AGRICULTURE • RESOURCES • CONSERVATION • LAND MANAGEMENT

**INTENTIONALLY**

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Produced 05/11/2019 02:38 PM

Volume 5647 Folio 269  
Folio Creation: Details Unknown  
Parent title Volume 05628 Folio 572

STATEMENT END

**VOTS Snapshot**

NIL

---

**Paper Title Images**

5647/269 - Version 0, Date 26/10/1999



Entered in the Register Book

CANCELLED

Vol. 5647

Fol. 1129269

VICTORIA.

# Certificate of Title,

UNDER THE "TRANSFER OF LAND ACT 1928."

14.5.30

PARCELS INDEX  
SECONDARY STORAGE

*BM*

Eliza Maria Bunting of 21 Ballarat Road Footscray Married Woman is - - - - -  
 now the proprietor of an Estate in Fee-simple, subject to the Encumbrances  
 notified hereunder in All that piece of Land, delineated and coloured  
 red on the map in the margin containing Twenty-nine acres Two roods and Eighteen---  
 perches or thereabouts being part of Crown Allotments One and Two Portion Four ---  
 Section Twelve Parish of Cut Paw Paw County of Bourke - Together with a right of--  
 carriage way over the road colored brown on the said map and Together with a right to  
 use the said road for drainage purposes *and together with a right of carriage way over the roads*  
 coloured brown on plan of subdivision No 12575 lodged in the Office of Titles and together  
 with a right of drainage and sewerage over the *said* roads coloured brown on the said plan of  
 subdivision.

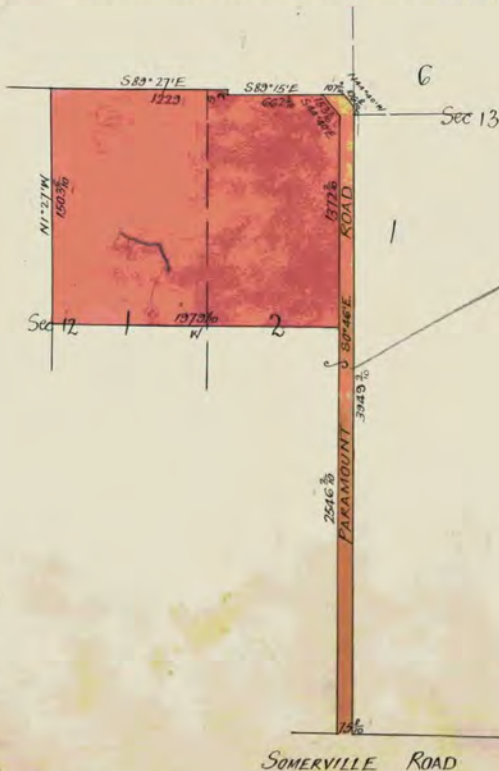
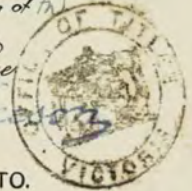
ORIGINAL CERTIFICATE.  
Not to be dealt with outside the Titles Office.

*70*  
C.O. 27722  
30 5 30

Dated the Second day of April One  
 thousand nine hundred and thirty.

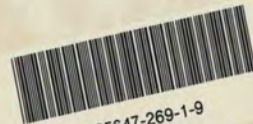
Assistant Registrar of Titles.

ENCUMBRANCES REFERRED TO.



*BM*

*XXXI/455*



T05647-269-1-9

Vol. 5628 Fol. 1125572

Transfer. 1451933

Application

CREATION OF EASEMENT to

MELBOURNE AND METROPOLITAN BOARD OF WORKS

on 12<sup>th</sup> March 1941 registered  
numbered 1807563

*Sturges*  
Assistant Registrar of Titles

TRANSFER TO

*Federal Letters Proprietary Limited* registered  
on 25<sup>th</sup> June 1947 numbered 1964994

CANCELLED See Certificate of Title

Vol. 7043 Fol. 1408490

*Hewson*  
Assistant Registrar of Titles

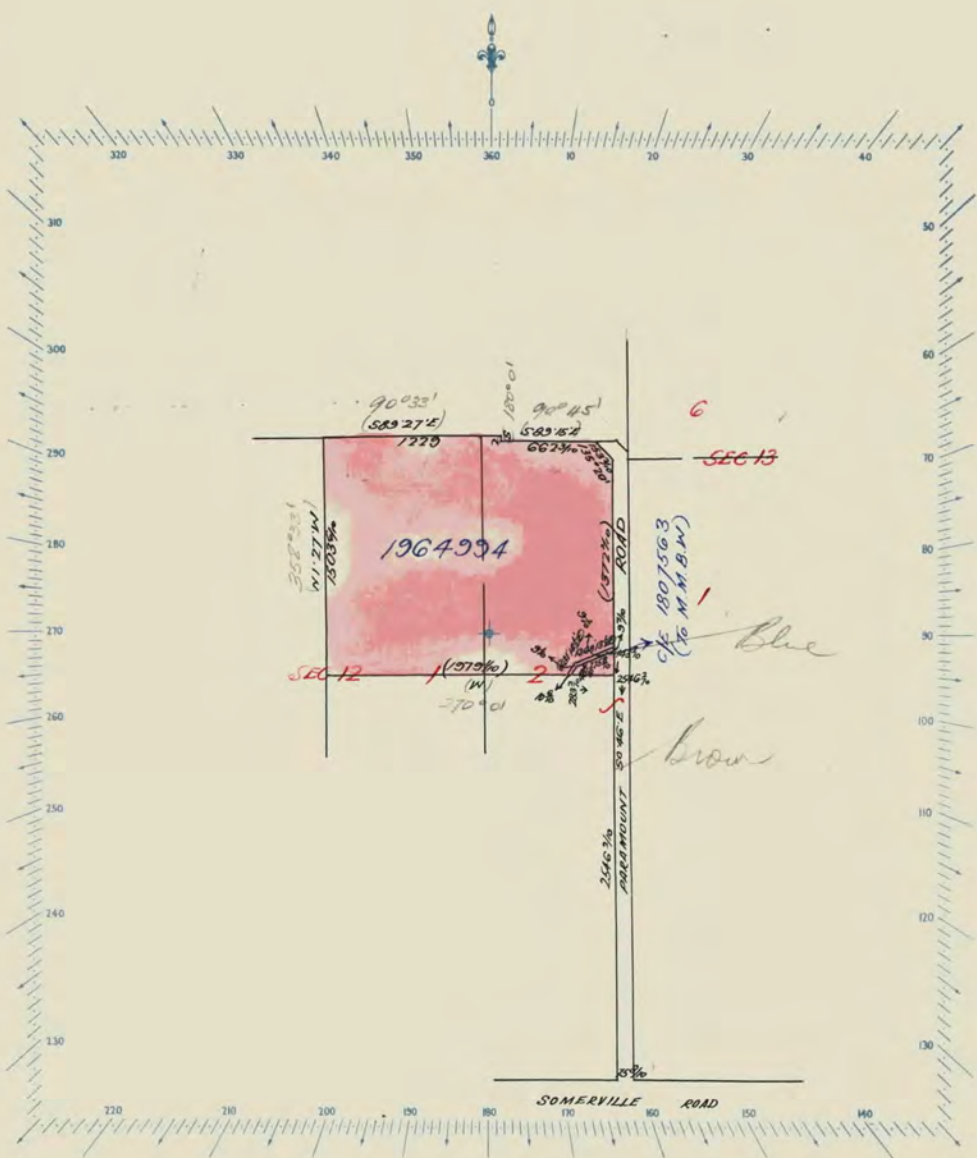
**CANCELLED**

**DUP. WITH**


FEB 1948

SCALE: *8 Chains* to one inch.

Vol. *5647* fol. *269*



*1753*

 **Natural Resources and Environment**  
AGRICULTURE • RESOURCES • CONSERVATION • LAND MANAGEMENT

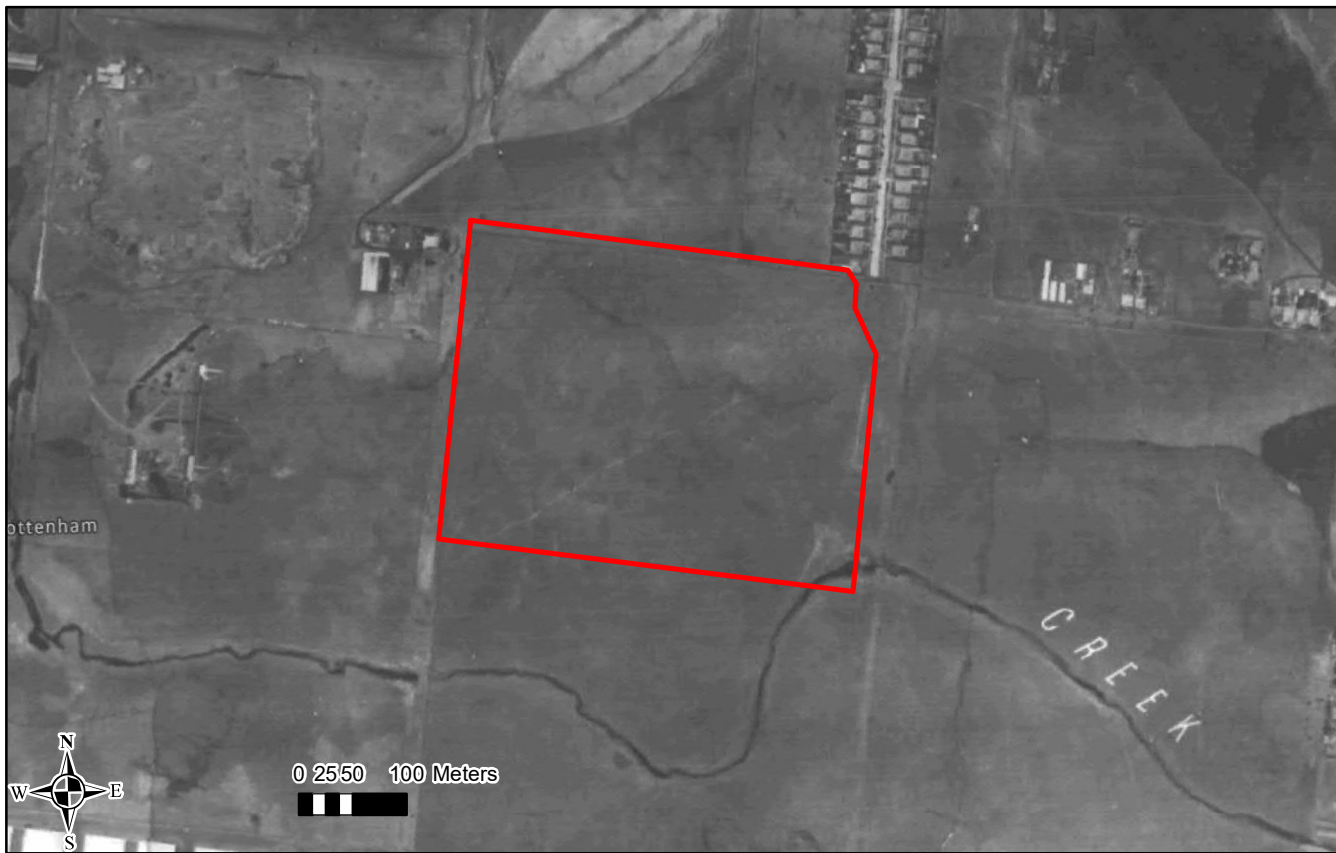
**INTENTIONALLY  
BLANK**

## **Preliminary Environmental Contamination and Gas Assessment**

### **BMF Construction**

**35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria**

## **Appendix G: Historical Aerial Photographs**



Aerial Photograph of Site (1945) Job Number: J164174

 **SITE**

Coordinate System: GDA 1994 MGA Zone 55  
Basemap Source: DELWP 2019  
Information source: Greencap 2019, State Government of Victoria 2019

Disclaimers: Every reasonable effort has been made to ensure the accuracy of this map, however this map and its associated information are only as accurate as the source of the original information. Further, the map requires regular updates and therefore may not reflect the most current information. Data may or may not be exact and is subject to survey.



Aerial Photograph of Site (1956) Job Number: J164174

 **SITE**



Aerial Photograph of Site (1970) Job Number: J164174

**SITE**

Coordinate System: GDA 1994 MGA Zone 55  
Basemap Source: DELWP 2019  
Information source: Greencap 2019, State Government of Victoria 2019

Disclaimers: Every reasonable effort has been made to ensure the accuracy of this map, however this map and its associated information are only as accurate as the source of the original information. Further, the map requires regular updates and therefore may not reflect the most current information. Data may or may not be exact and is subject to survey.



Aerial Photograph of Site (1982) Job Number: J164174

**SITE**



Aerial Photograph of Site (2002) Job Number: J164174

**SITE**

Coordinate System: GDA 1994 MGA Zone 55  
Basemap Source: Google Earth and Nearmap 2019  
Information source: Greencap 2019, State Government of Victoria 2019

Disclaimers: Every reasonable effort has been made to ensure the accuracy of this map, however this map and its associated information are only as accurate as the source of the original information. Further, the map requires regular updates and therefore may not reflect the most current information. Data may or may not be exact and is subject to survey.



Aerial Photograph of Site (2009) Job Number: J164174

**SITE**



Aerial Photograph of Site (2019) Job Number: J164174

**SITE**

Coordinate System: GDA 1994 MGA Zone 55  
Basemap Source: Nearmap 2019  
Information source: Greencap 2019, State Government of Victoria 2019

Disclaimers: Every reasonable effort has been made to ensure the accuracy of this map, however this map and its associated information are only as accurate as the source of the original information. Further, the map requires regular updates and therefore may not reflect the most current information. Data may or may not be exact and is subject to survey.

## **Preliminary Environmental Contamination and Gas Assessment**

### **BMF Construction**

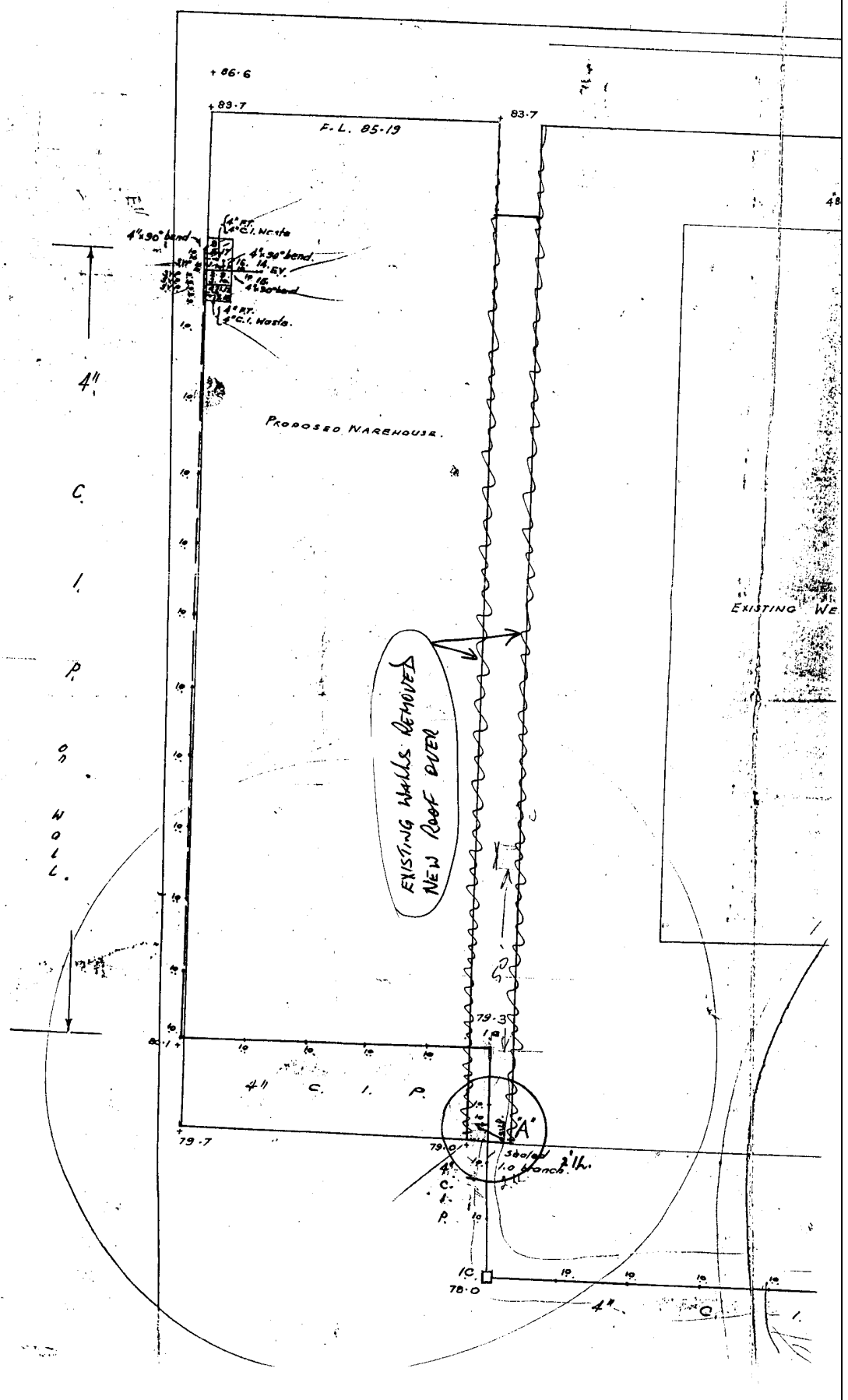
35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria

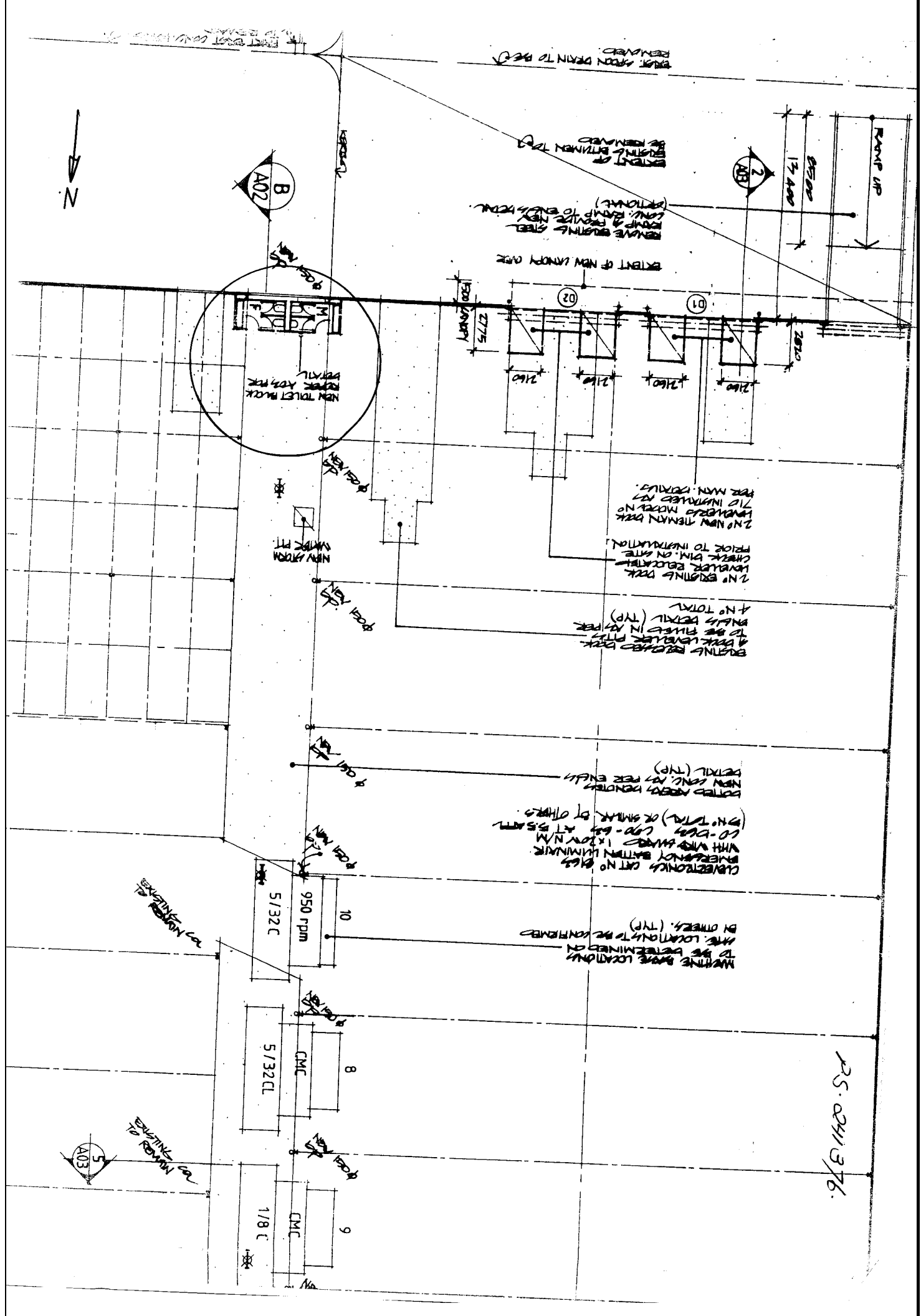
## **Appendix H: Historical Property Sewerage Plans**

P.S 241376

PART COMBINED PIPE SYSTEM.

P.S.  
241376





REMOVE EXISTING STEEL ROOF & REPLACE NEW CONCRETE TO EXISTING LEVEL (SECTIONAL)  
REMOVE EXISTING STEEL BRACKET & BRIMMER TO BE REMOVED  
REMOVE EXISTING STEEL BRACKET & BRIMMER TO BE REMOVED

EXTENT OF NEW LINEN CASE

2" NEW STEEL DECK  
2" NEW STEEL DECK  
CHECK DIM. ON GATE  
LEVELER LOCATED  
PRIOR TO INSTALLATION.  
7/10 INSTALLED NOT  
FOR MAIN. DETAILS.

4" NO TOTAL  
BRASS DETAIL (TYP)  
A BRASS DETAIL IN ALL PER  
EXISTING RECORDED DECK

LOCATED ABOVE HORIZONTAL  
NEW CONC. AS PER EXIST.  
DETAIL (TYP)  
CLEANER/CHEMICAL BATTERY  
EMERGENCY BATTERY LUMINAIRE  
WITH VIBRO SWAYD 1.20V N/M  
CO-DRUM 600-600 AT 5.5 AMP  
(5" NO TOTAL) OR SWAYD BY OTHERS.

VERTICE ABOVE LOCATION  
THE LOCATION TO BE CONFIRMED  
BY OTHERS. (TYP)

P.S. 0211/376.

EXISTING COL  
TO REMAIN

950 rpm  
5/32C

CMC  
5/32CL

CMC  
1/8 C

10

8

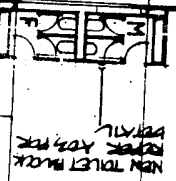
9

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C



1500 LINEN CASE  
2775

2160

2160

2160

2160

2160

2080

8500  
13' 4 1/2"

RAMP UP

NEW TOILET BLACK ROOM  
BLACK ROOM  
BLACK ROOM

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

POSSIBLE  
NEW 5/32C

233028

241376

(A4)

# PLAN OF DRAINAGE

Owner: *British Australian Carpet Manufacturing Co. P/L.*  
8, Nicholson St. E. - Melbourne.

MUNICIPAL

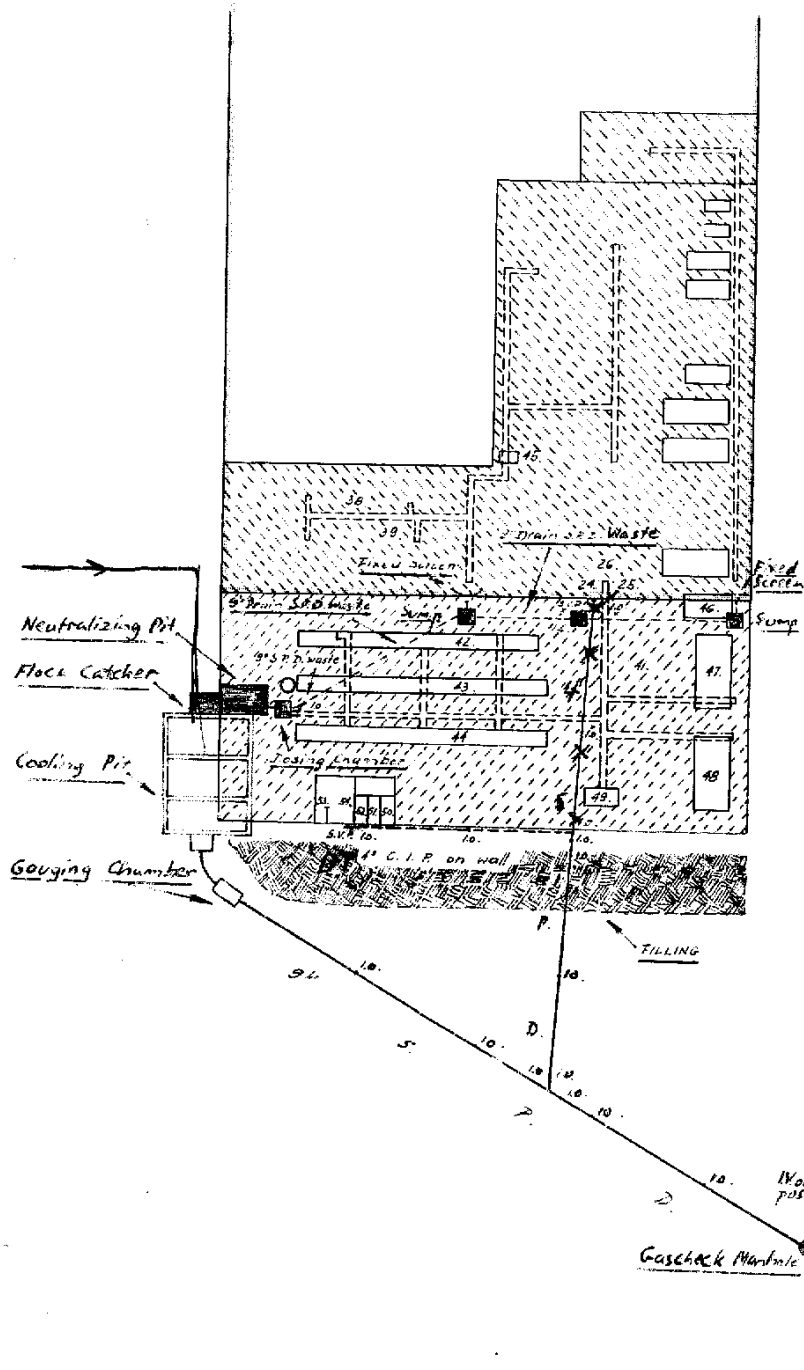
## REFERENCE :

B.T. Boundary Trap	S.P.D. Stoneware Pipe Drain	I.C. Inspection Chamber
D.T. Disconnecter Trap	G.I.T. Grease Interceptor Trap	I.O. Inspection Open
G.T. Gully Trap	S.T. Silt Trap	E.V. Educt Vent
I.V. Indust Vent	C.I.P. Cast Iron Pipe	GV. Ground Vent

The whole of the drainage and/or plumbing work shall be carried out in accordance with the By-Laws and requirements of the Board. This plan is issued subject to the Owner accepting all responsibility for the drains indicated by green lines being in the position shown and at a suitable level for the connection thereto of the additional work and for such drains being in good order and condition. Position of H.C. Branches to be determined by measurements recorded on this plan.

This plan is issued subject to the Owner accepting all responsibility for the drains indicated by green lines being in the position shown and at a suitable level for the connection thereto of the additional work and for such drains being in good order and condition. Position of H.C. Branches to be determined by measurements recorded on this plan.

Scale: 40 feet to 1 inch.



R.D.

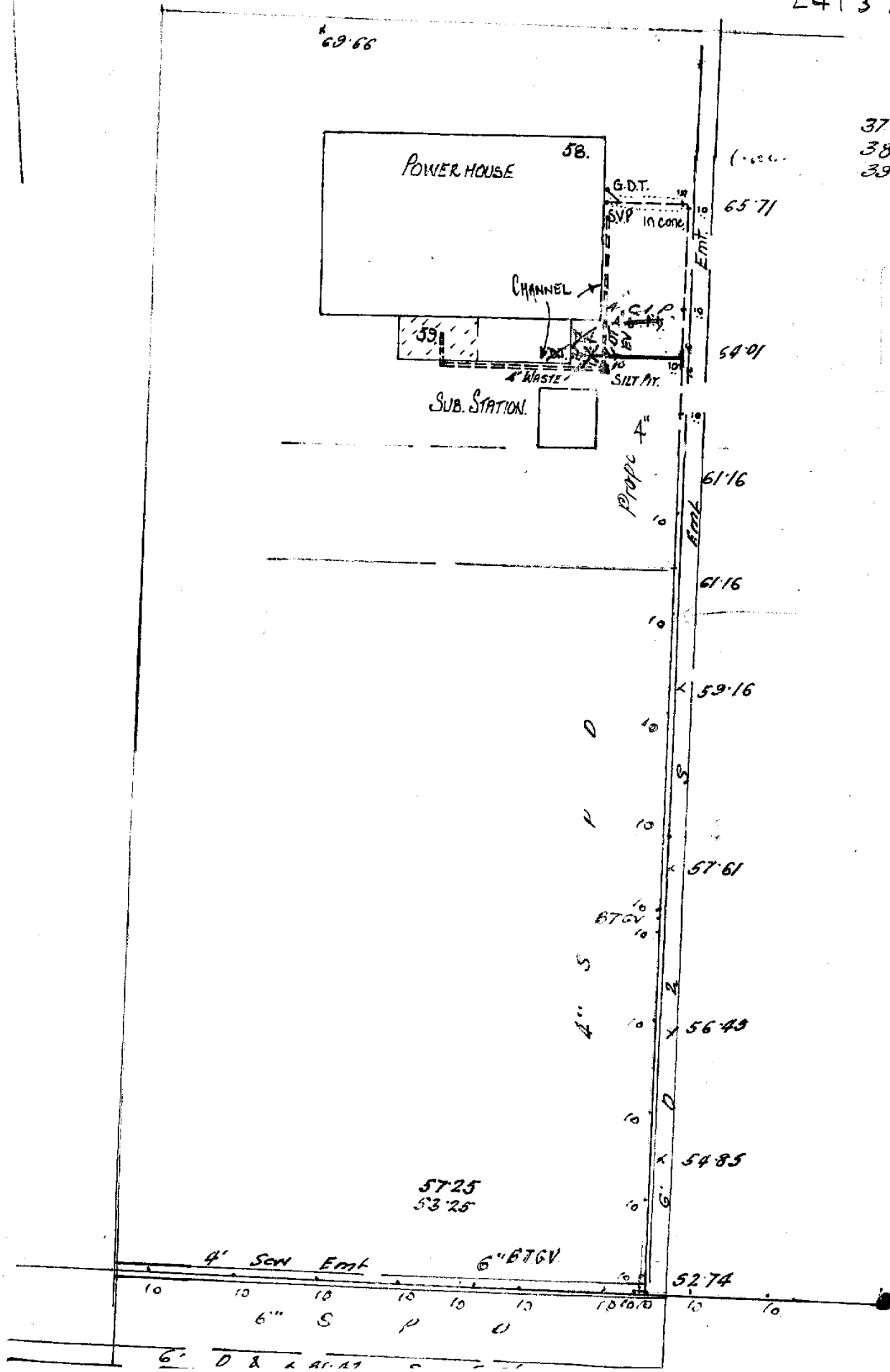
24. Clo  
25. Urin  
26. Bas  
41. Palle  
and  
Cha  
to a  
38, 39. Hank  
44. Hank  
45, 46, 47, 48, 49. Hank  
floor  
50, 51. Clo  
52. Urin  
53. Show  
54. Lav  
to 4"  
Pipe  
Inter  
Drain  
C.I.P.  
Inspecting Officer.  
Disus  
ground level to the  
Existi  
to proposed floor  
Mech  
the neutralizing  
to regulate the ne  
effluent shall be  
reinstalled to the s  
Exern  
building is appro  
New s  
of approved sand

PARAMOUNT



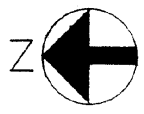
N

233028  
(A4)  
241376



37 Clo  
38 Ba  
39 Sho  
To  
DI  
DI  
H  
a  
co

233028  
241376  
(A3)



PARAMOUNT ROAD

EXISTING CAR PARK

EXISTING DYE HOUSE

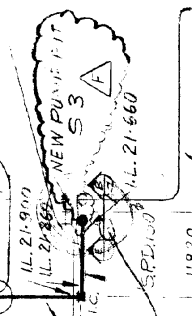
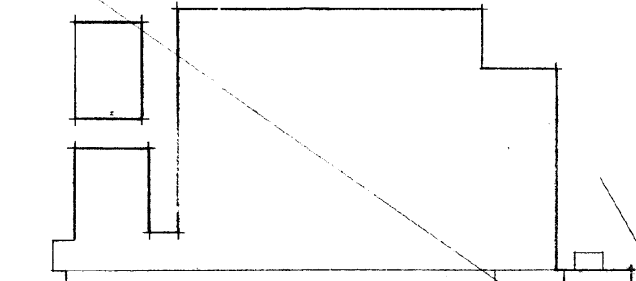
1  
2  
17500  
8000

NEW WHITE YARN STORE

EXIST. N. PIT  
EXIST. COOL PIT

EXISTING BOILER HOUSE

P.H. # FLOW RECORDER  
TO MMBW. SEWER



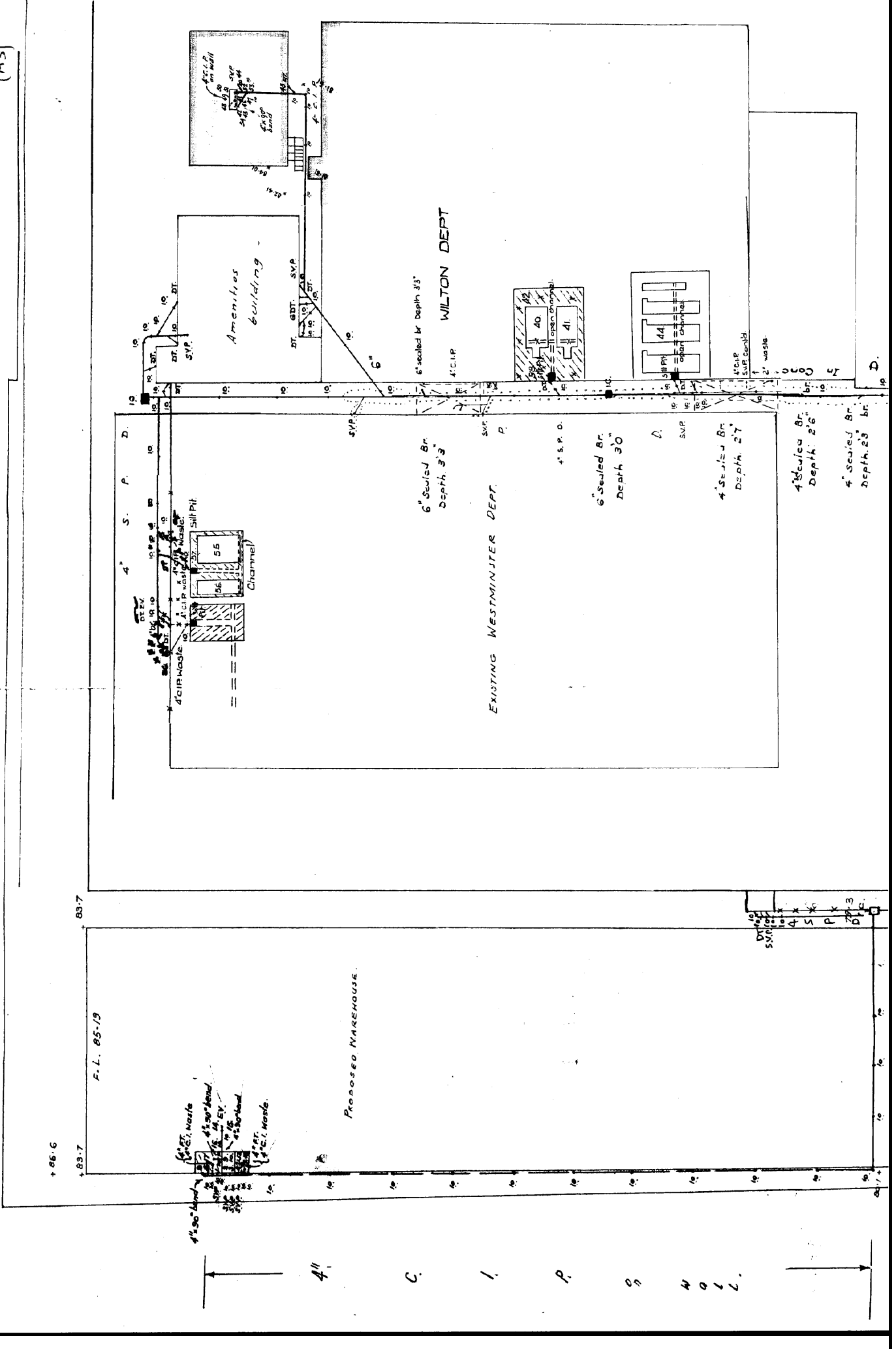
EXISTING ROADWAY

NEW EFFLUENT 150" SPD. UNDERGROUND.

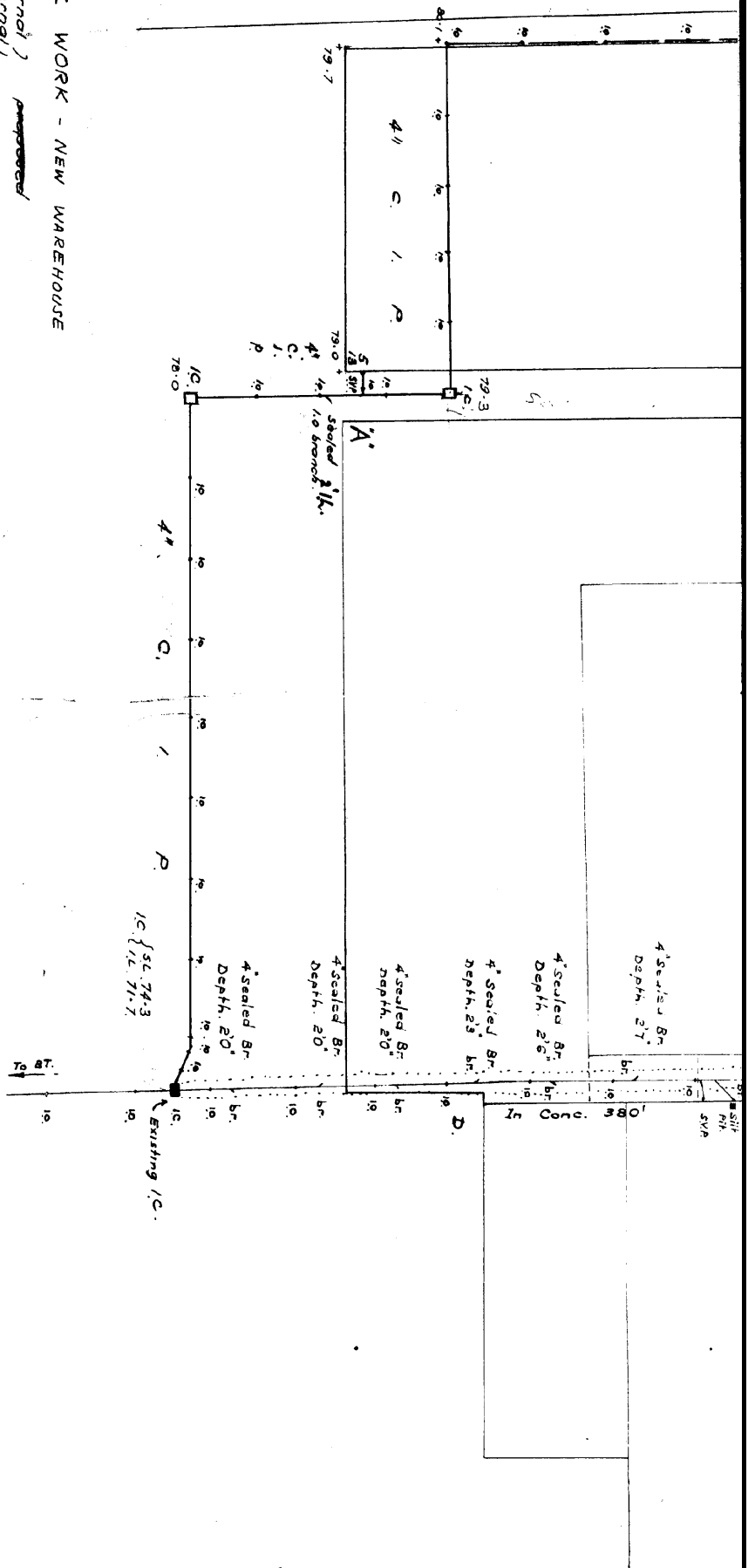
FOR INFORMATION SEE DRG. NO. G24

FACTORY PLAN SCALE 1:1000

233028  
241376  
(A3)



M  
O  
L  
L



ADDITIONAL WORK - NEW WAREHOUSE

Closets (Internal) ~~proposed~~  
 Urinals (Internal) ~~to be connected to 4\"/>
 Basins proposed ~~to be connected to 4\"/>
 Sinks - 4\"/>
 Cleaners' sink to be connected to 4\"/>
 Polished areas (proposed) ~~to be paved~~ imperviously and graded  
 so as to discharge over grating of 4\"/>
 Hence to 4\"/>
 design top ~~to be~~ provided over each area.  
 branch to be left, where shown, deep enough for extension  
 of "A"~~~~

- 2 on wall ~~to be supported~~ } to satisfaction of Board's
- 2 be constructed } Inspecting Officer
- under building ~~to be formed~~ of 4\"/>
- of existing i.c. to be retabled to suit additional inlet branch.
- to be laid shown thus: \_\_\_\_\_ "E."

NO LESS THAN 3\"/>
 SUBJECT TO VERTICAL CLEARANCE  
 REQUIRED WHERE SHOWN  
 1\"/>

DRAINS TO BE LAID AT BEST GRADE  
 OBTAINABLE BUT NOT LESS THAN 1 IN 60

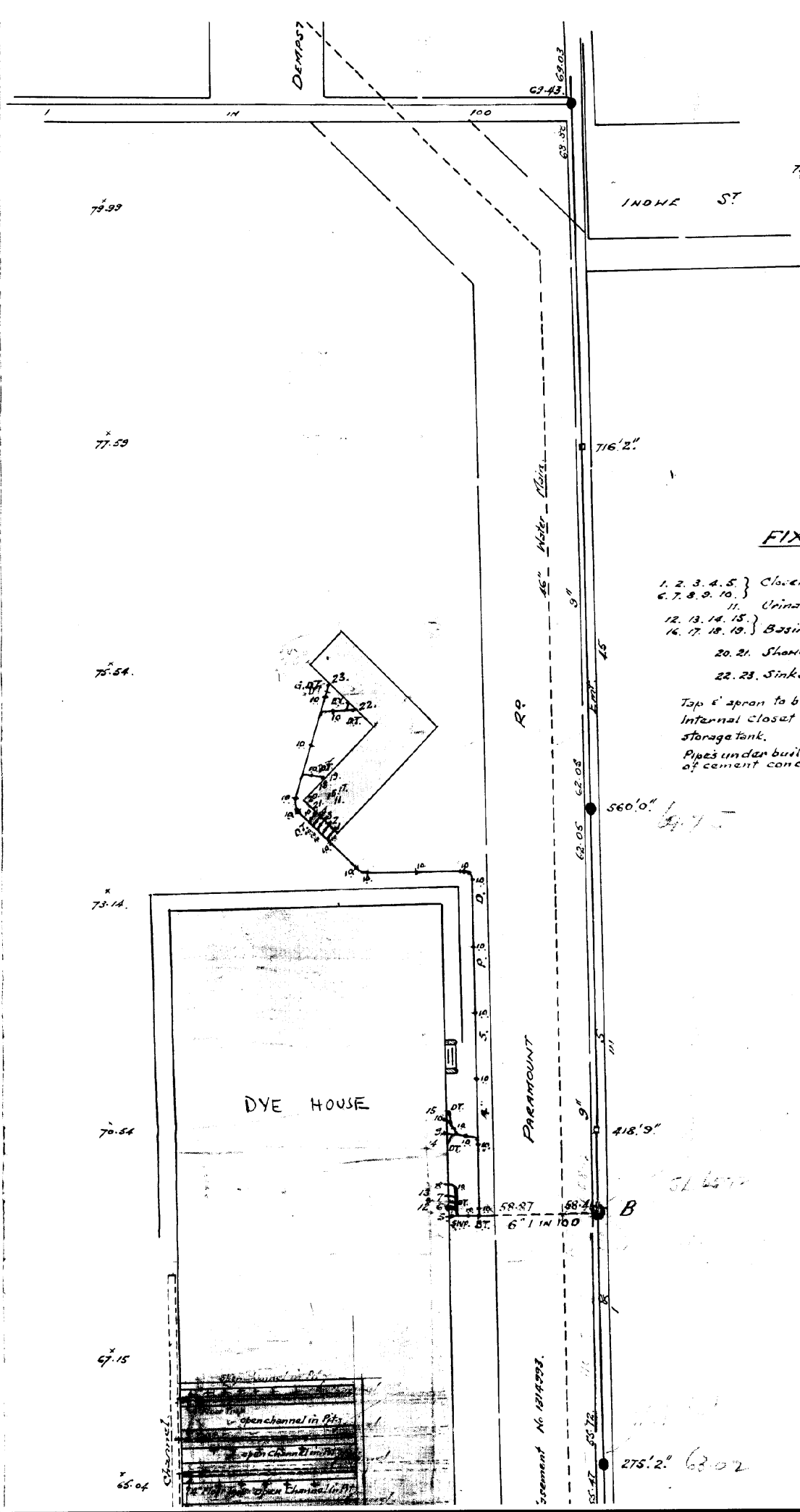
FOR THE SURVEYOR GENERAL

ROUND IS FULLY INSULATED

MELBOURNE AND METROPOLITAN  
 BOARD OF WORKS  
 2413 76 (A3)  
 233028

WARNING: Interference with any drain, sewer, water service pipe or water main without the consent of

233028  
241376 (A3)



FIXTURES. (Domestic)

- 1, 2, 3, 4, 5 } Closets proposed Internal.
- 6, 7, 8, 9, 10. } Urinal " "
- 11. } Urinal " "
- 12, 13, 14, 15. } Basins " "
- 16, 17, 18, 19. } Basins " "
- 20, 21. Showers. " "
- 22, 23. Sinks. " "

Top 6" apron to be provided to G.O.T.  
Internal closet cisterns to be supplied from storage tank.  
Pipes under building to be surrounded with 6" of cement concrete.

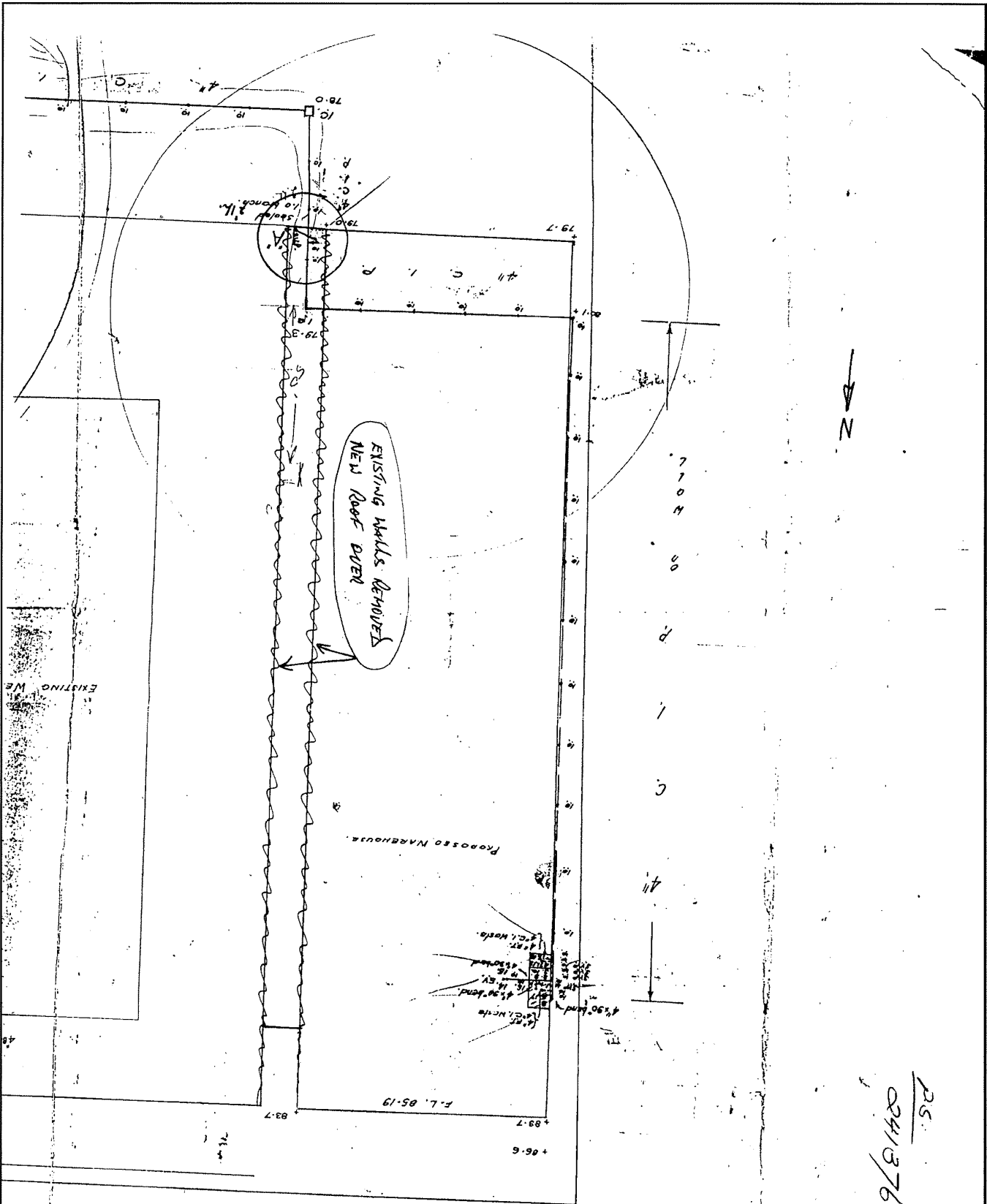
DYE HOUSE

PARAMOUNT

sewerment No 1314993.

275.2" 63.02





P.S.  
241376

PART COMBINED PIPE SYSTEM

P.S. 241376

RS. 041/376.



700 NUMBER OF  
STAIRS

700 NUMBER OF  
STAIRS

MACHINE BASE LOCATIONS  
TO BE DETERMINED ON  
SITE. LOCATIONS TO BE CONFIRMED  
BY OTHERS. (TYP)

CUB ELECTRONICS CAT NO 8163  
EMERGENCY BATTERY LUMINAIR  
WITH WIND SHIELDS 1 X 30W N/A/M  
CO-5667 CO-60-63 AT 55 RATE  
(4 N° TOTAL) OR SIMILAR BY OTHERS.

DOTTED AREA DENOTES  
NEW CONC. RT PER ENCL  
DETAIL (TYP)

EXISTING RECESSED DECK  
A DECK LEVELLER PTT  
TO BE FILLED IN RT PER  
ENCL'S DETAIL (TYP)  
4 N° TOTAL

2 N° EXISTING DECK  
LEVELLER RELOCATED  
CHECK DIM. ON SITE  
PRIOR TO INSTALLATION.

2 N° NEW TIEMAN DECK  
LEVELLER MODEL NO  
710 INSTALLED RT  
PER MAN. DETAILS.

NEW STORM  
SINKER PTT.

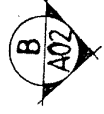
NEW TOILET BACK  
RUMPER ADD PER  
DETAIL

EXTENT OF NEW CANOPY OVER

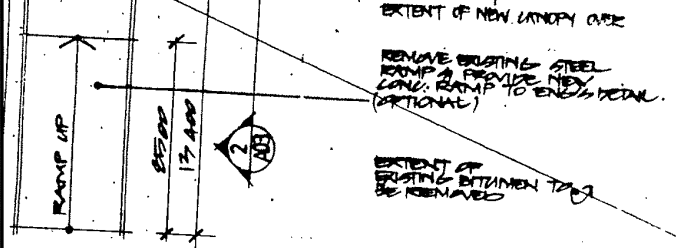
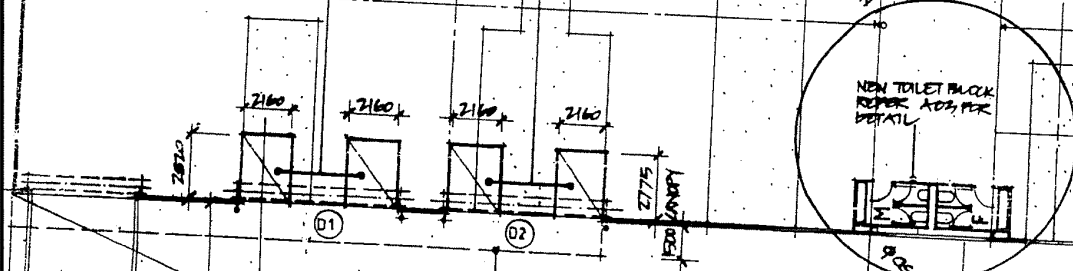
REMOVE EXISTING STEEL  
RAMP & PROVIDE NEW  
CONC. RAMP TO ENCL'S DETAIL.  
(ARTICULATE)

EXTENT OF  
EXISTING BITUMEN TO BE  
REMOVED

EXIST. ASPEN DRAIN TO BE  
REMOVED.



THE EXIST. BRICK CONSTRUCTION TO  
BE REMAIN



233028  
241376

(A4)

**PLAN OF DRAINAGE**

Owner: *British Australian Carpet Manufacturing Co. P/L.*  
8. Nicholson St. E. Melbourne.

MUNICIPAL

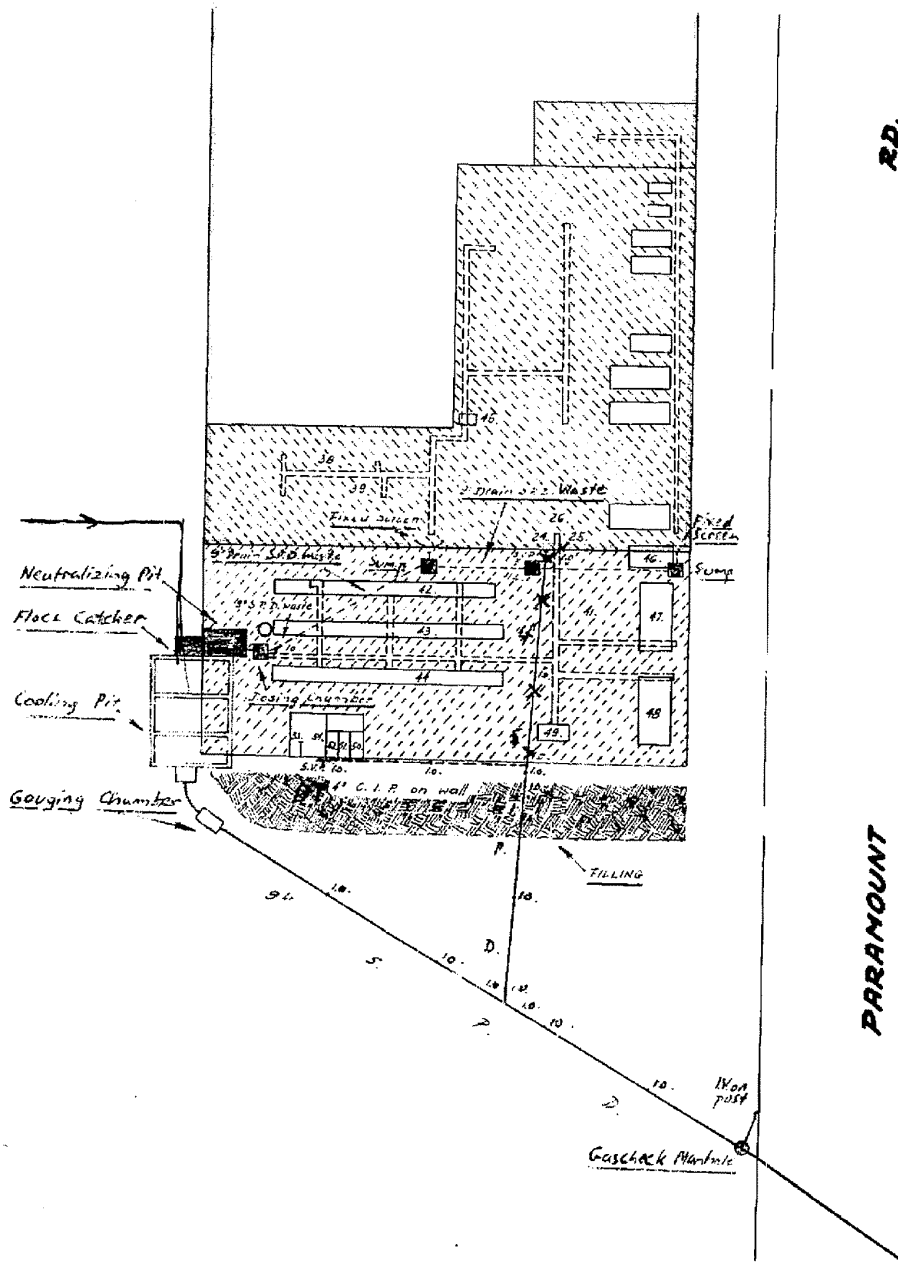
**REFERENCE :**

B.T. Boundary Trap	S.P.D. Stoneware Pipe Drain	I.C. Inspection Cham
D.T. Disconnecter Trap	G.I.T. Grease Interceptor Trap	I.O. Inspection Openi
G.T. Gully Trap	S.T. Silt Trap	E.V. Educt Vent
I.V. Induct Vent	C.I.P. Cast Iron Pipe	G.V. Ground Vent

The whole of the drainage and/or plumbing work shall be carried out in accordance with the By-Laws and requirements of the Board. This plan is issued subject to the Owner accepting all responsibility for the drains indicated by green lines being in the position shown and at a suitable level for the connection thereto of the additional work and for such drains being in good order and condition. Position of H.C. Branches to be determined by measurements recorded on this plan.

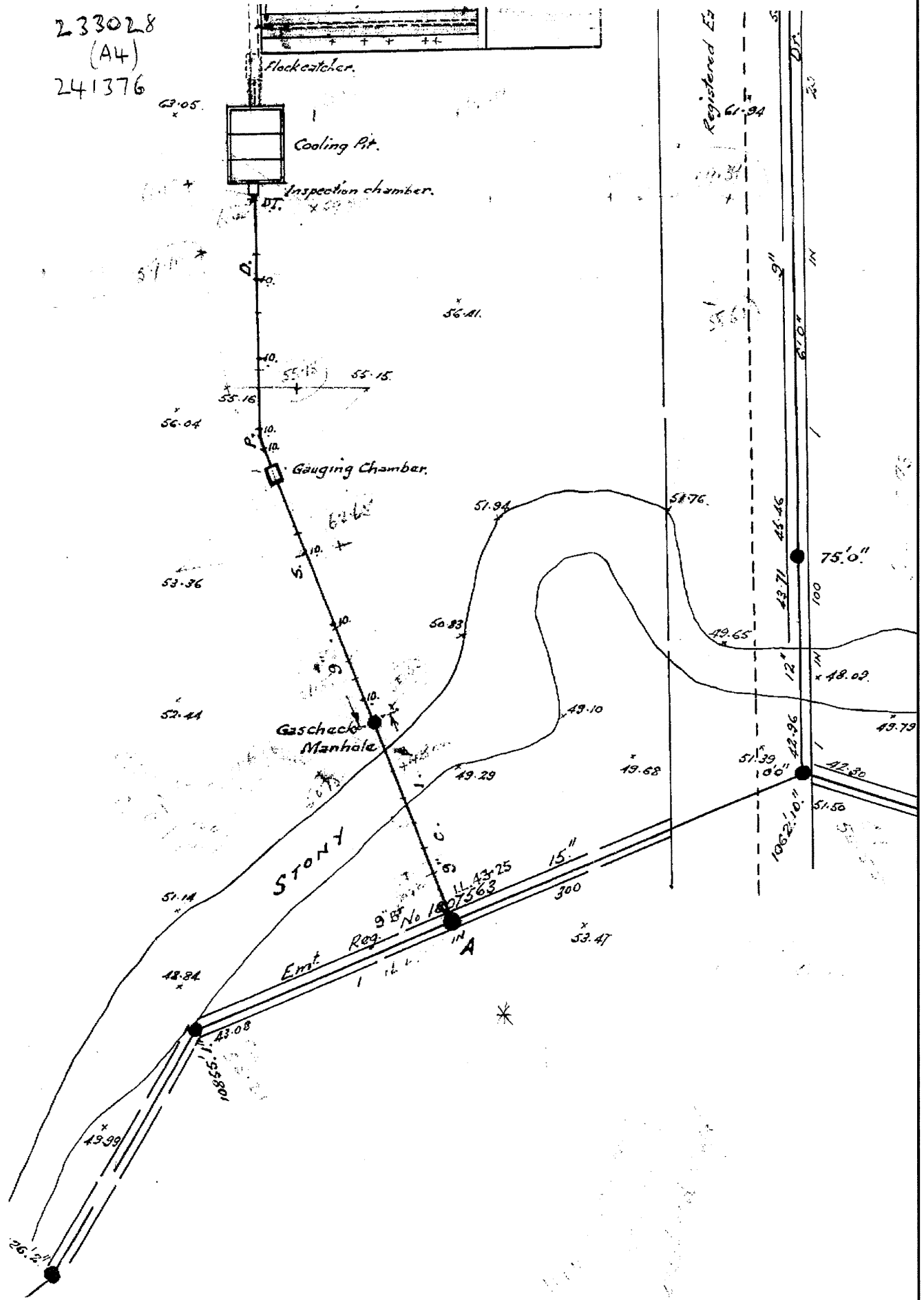
This plan is issued subject to the Owner accepting all responsibility for the drains indicated by green lines being in the position shown and at a suitable level for the connection thereto of the additional work and for such drains being in good order and condition. Position of H.C. Branches to be determined by measurements recorded on this plan.

Scale: 40 feet to 1 inch.



24. Clos  
25. Urin  
26. Bas  
41. Palle  
ind  
Clos  
to a  
38, 39. Honk  
44. Honk  
15, 16, 17, 18, 19. Honk  
floor  
50, 51. Clos  
52. Urin  
53. Snow  
54. Lav  
to 4" x  
Pipe  
Inter  
Drain  
C.I.P.  
Inspecting Officer.  
Disus  
ground level to the  
Existi  
to proposed floor  
Mech  
the neutralizing  
to regulate the nee  
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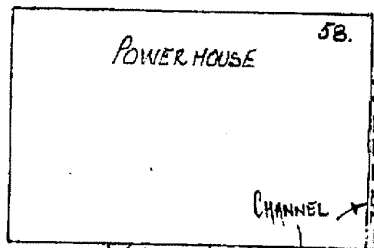
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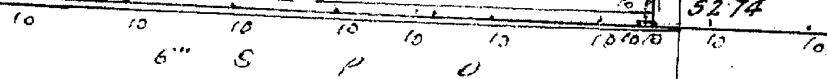
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4" San Emt

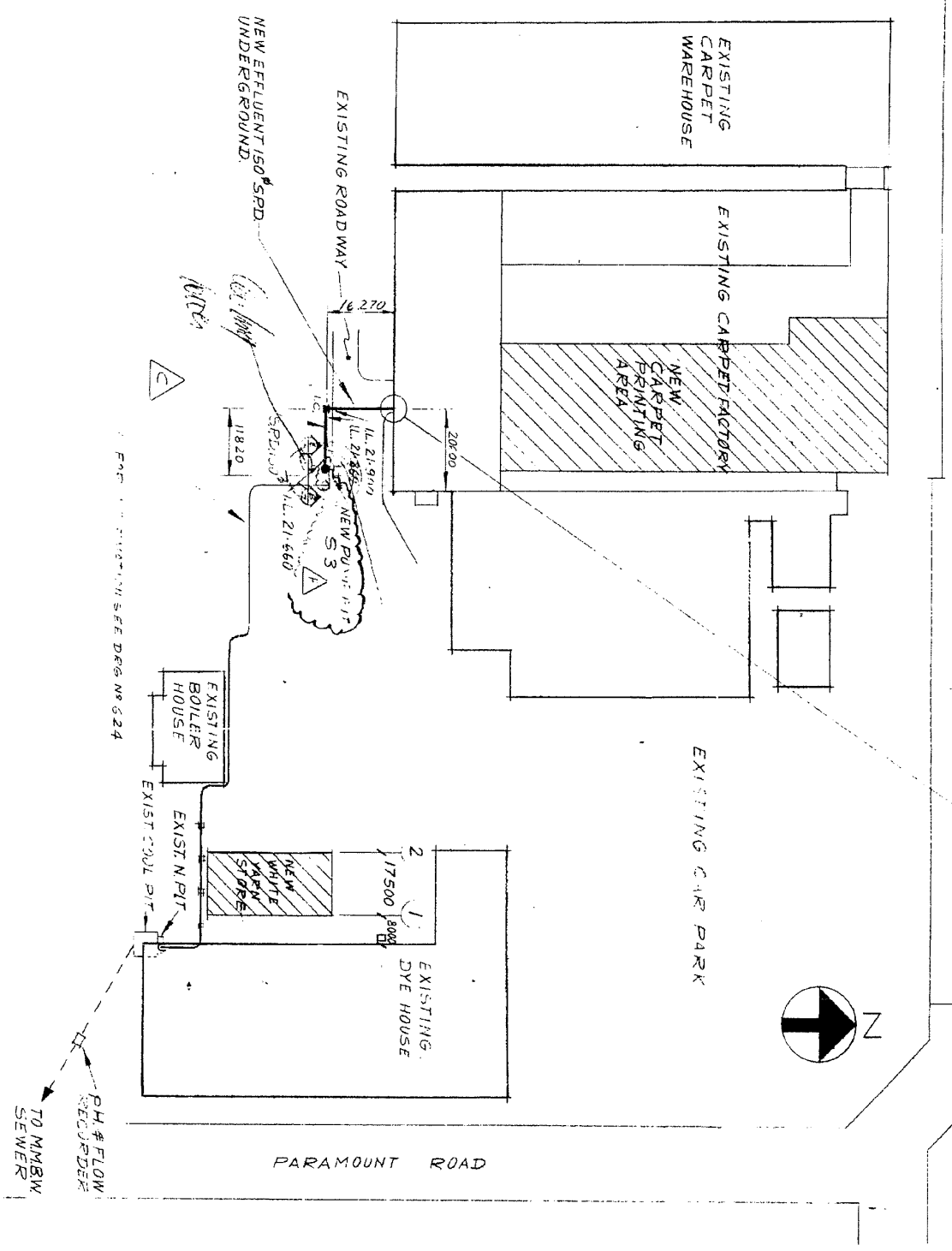
6" BTGV



6" D & 2 AT AT

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(A3)



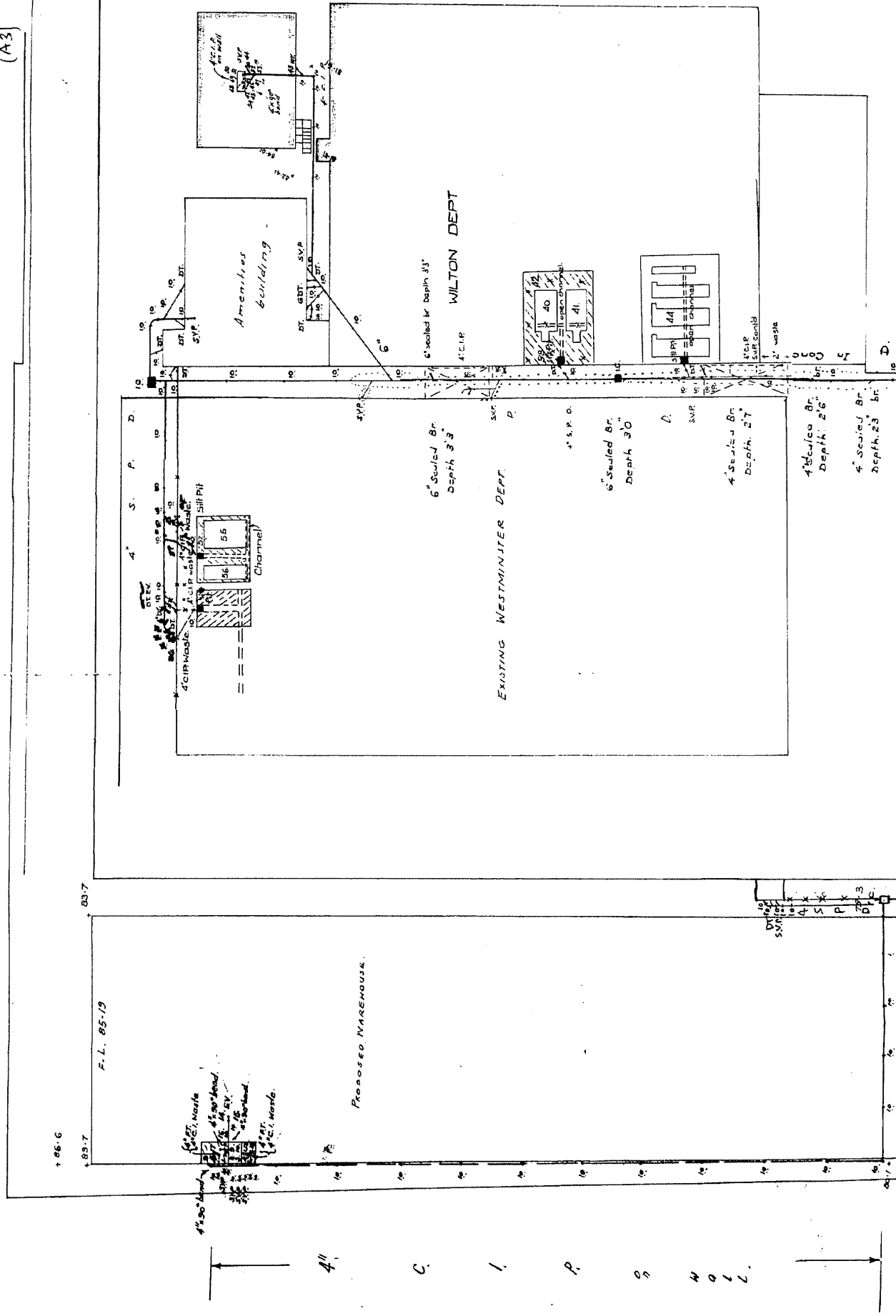
FOR LOCATION SEE DRG. NO. G24

FIGURE 2-11 SCALE 1:1000

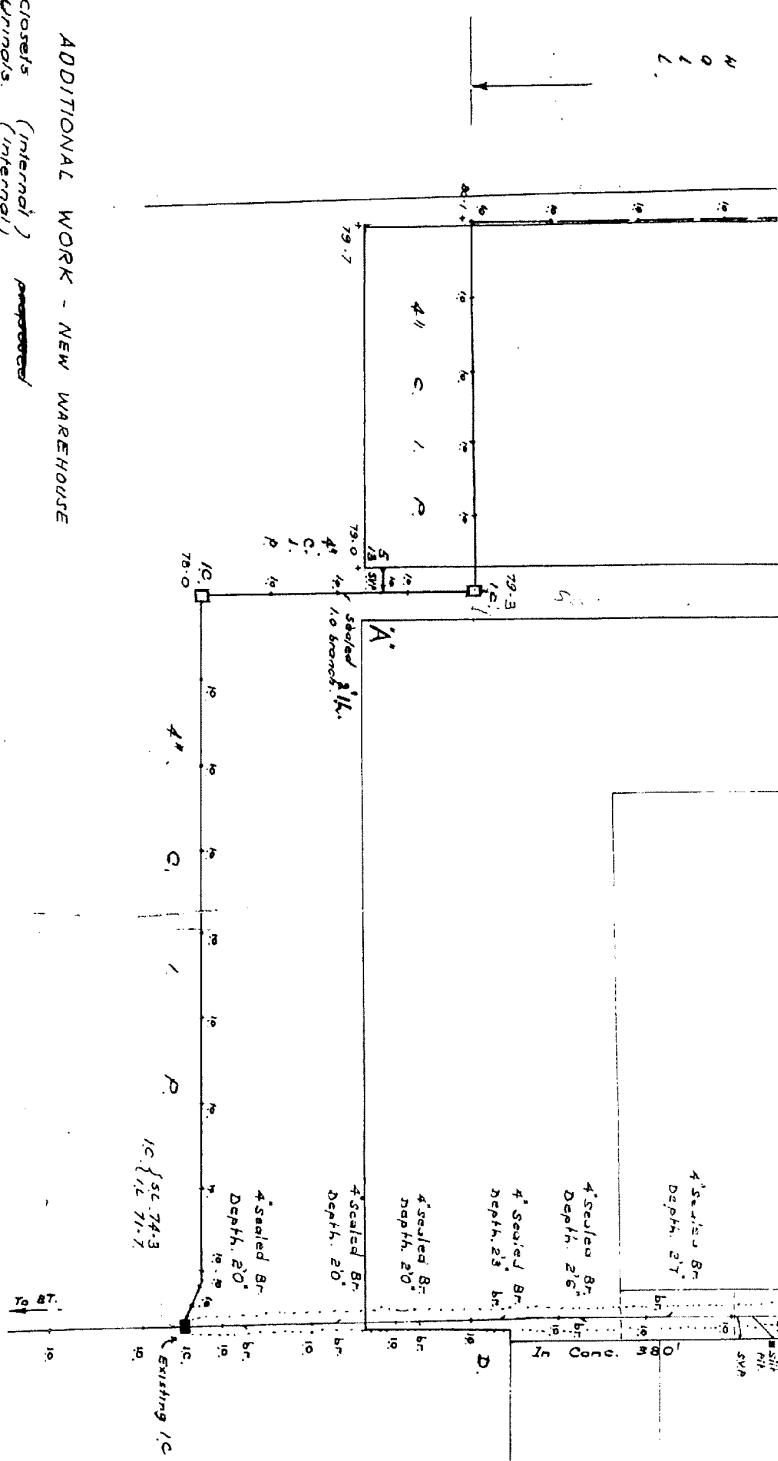
PARAMOUNT ROAD



233028  
241376  
(A3)



4" C I P S W O L L



**ADDITIONAL WORK - NEW WAREHOUSE**

Closest (Internal) proposed  
 Urinals (Internal) proposed  
 Basins proposed to be connected to 4" 90° bends  
 Basins (domestic) proposed to be connected to S.V.P.  
 Sinks (domestic) proposed to be connected to E.V.  
 Cleaner's sink to be connected to 4" 90° bend } as for Combined  
 Pipe system.

Polluted areas (proposed) to be paved imperviously and graded  
 so as to discharge over grotting of 4" floor from  
 thence to 4" C.I.P. drain as for Combined Pipe system.  
 4" branch to be left, where shown, deep enough for extension  
 of 4" :

2 on wall to be supported } to satisfaction of Board's  
 Inspecting Officer  
 under building to be formed of 4" C.I.P.  
 of existing I.C. to be retailed to suit additional inlet branch.  
 to be laid shown thus. —————

NOT LESS THAN 3" OF COVER  
 TO BE MAINTAINED UNDER  
 ALL SEWERS AND DRAINS  
 THROUGHOUT THE WHOLE  
 OF THE WORK

DRAINS TO BE LAID AT BEST GRADE  
 OBTAINABLE BUT NOT LESS THAN 1 IN 80

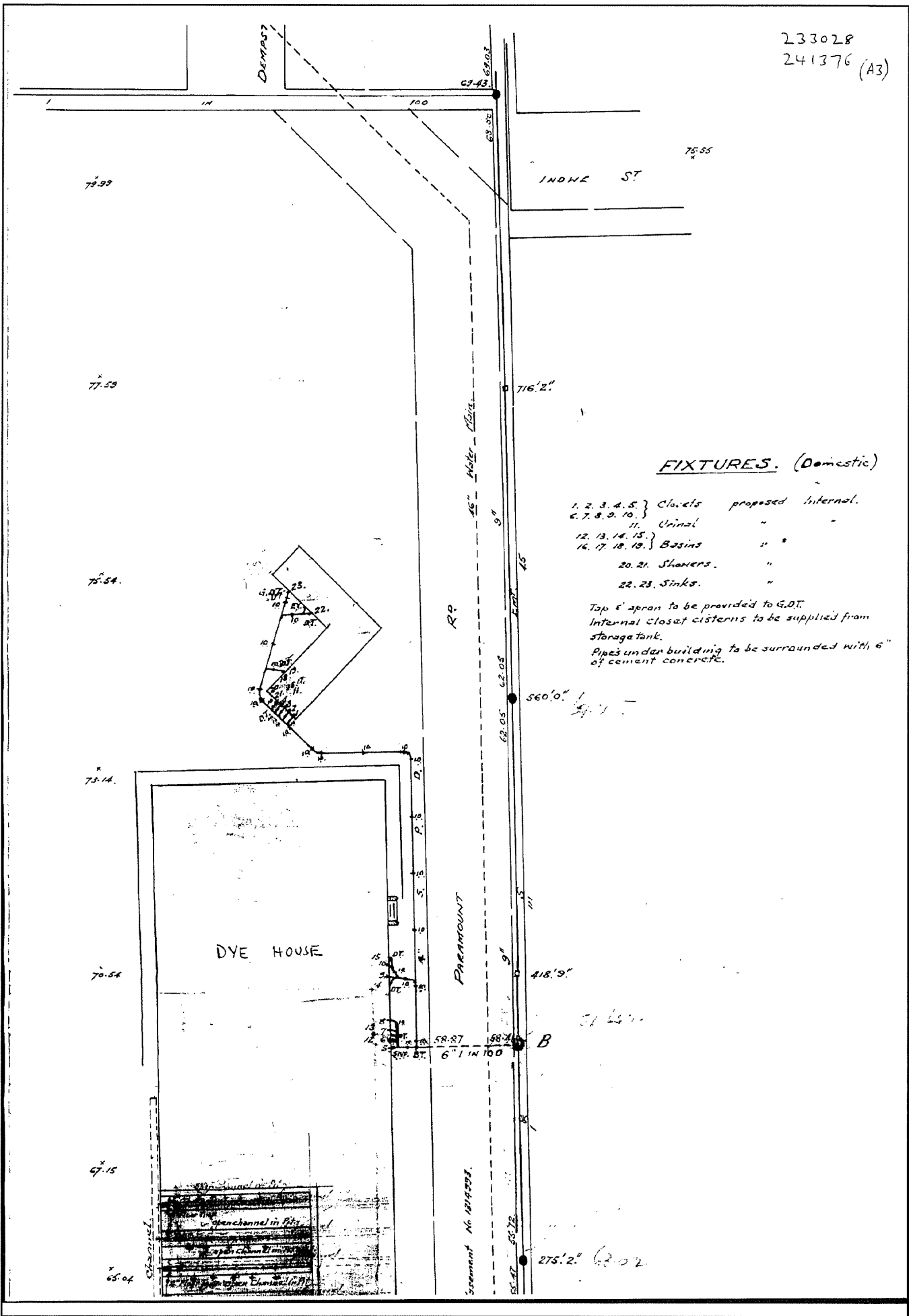
FOR THE SURVEYOR'S USE  
 ROUND 13 FUJIN INSURANCE

MELBOURNE AND METROPOLITAN  
**BOARD OF WORKS**

2413 76 (A3)  
 233028

WARNING: Interference with any drain, sewer, water service pipe or water main without the consent of

233028  
241376 (A3)



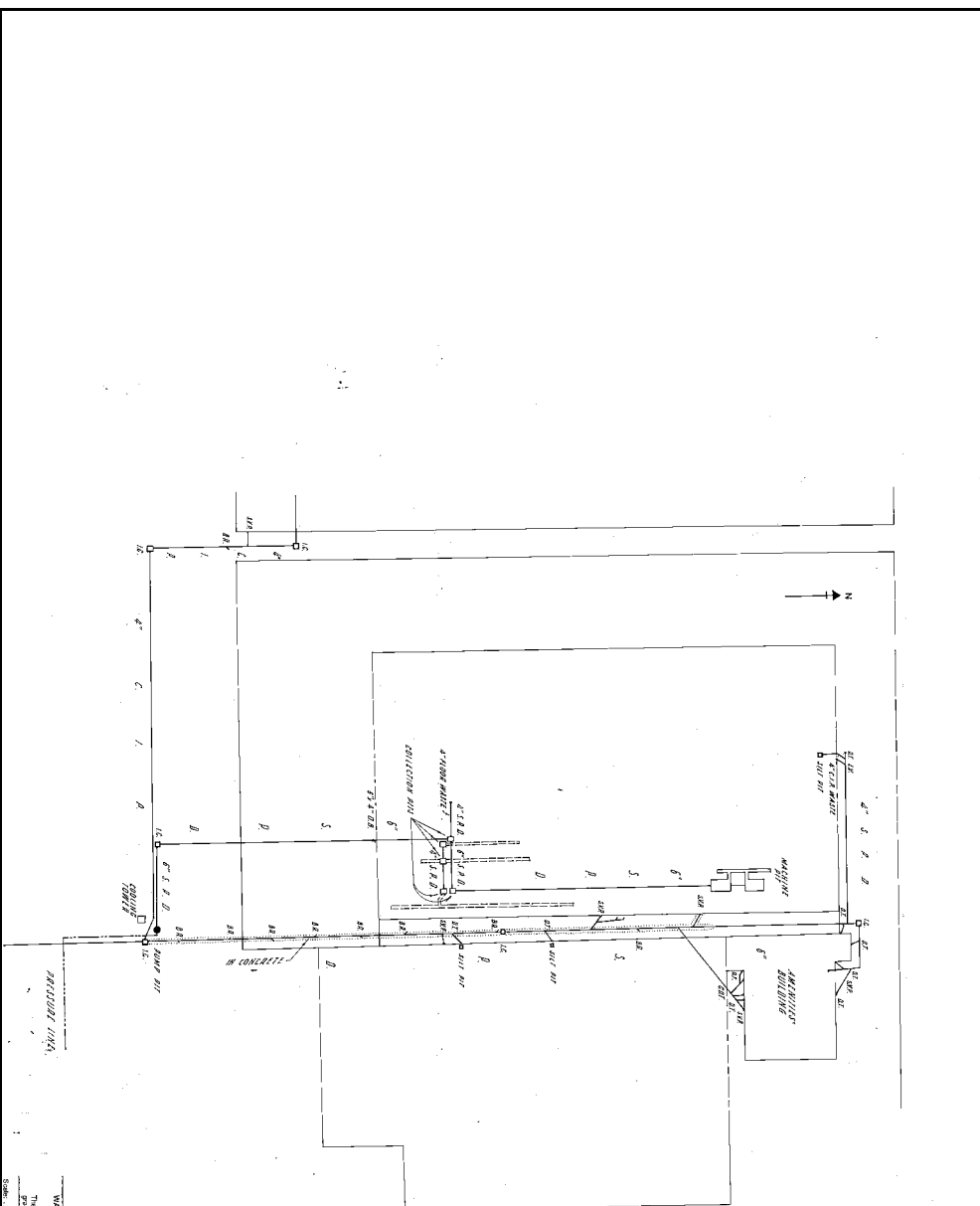
FIXTURES. (Domestic)

- 1, 2, 3, 4, 5 } Closets proposed internal.
- 6, 7, 8, 9, 10 } " " "
- 11 } Urinal " "
- 12, 13, 14, 15 } Basins " "
- 16, 17, 18, 19 } " " "
- 20, 21 } Showers. " "
- 22, 23 } Sinks. " "

Top 6" apron to be provided to G.D.T.  
Internal closet cisterns to be supplied from storage tank.  
Pipes under building to be surrounded with 6" of cement concrete.

Statement No 1014998.

275'2" 6202



RECORD

1	2	3	4	ISSUED
5	6	7	8	FINALISED

DATE

**PROPERTY SEWERAGE PLAN**

PROPERTY SERVICE NO. 241376

MUNICIPALITY: **SANDHURST**

WARNING: This drawing is intended for use as a guide only. It is not to be used for construction purposes without the consent of the Engineer-in-Chief. It is a condition of use that the user shall indemnify and hold the Council harmless from and against all claims, damages, losses and expenses, including reasonable legal costs, which may be incurred by the Council in connection with the use of this drawing.

Scale: 1:100

DATE: 15/08/2024









# PLAN OF DRAINAGE

*Daylesford - Centenary Woollen & Worsted Mills P/L.*

MUNICIPALITY: *Sunshine*

### REFERENCE :

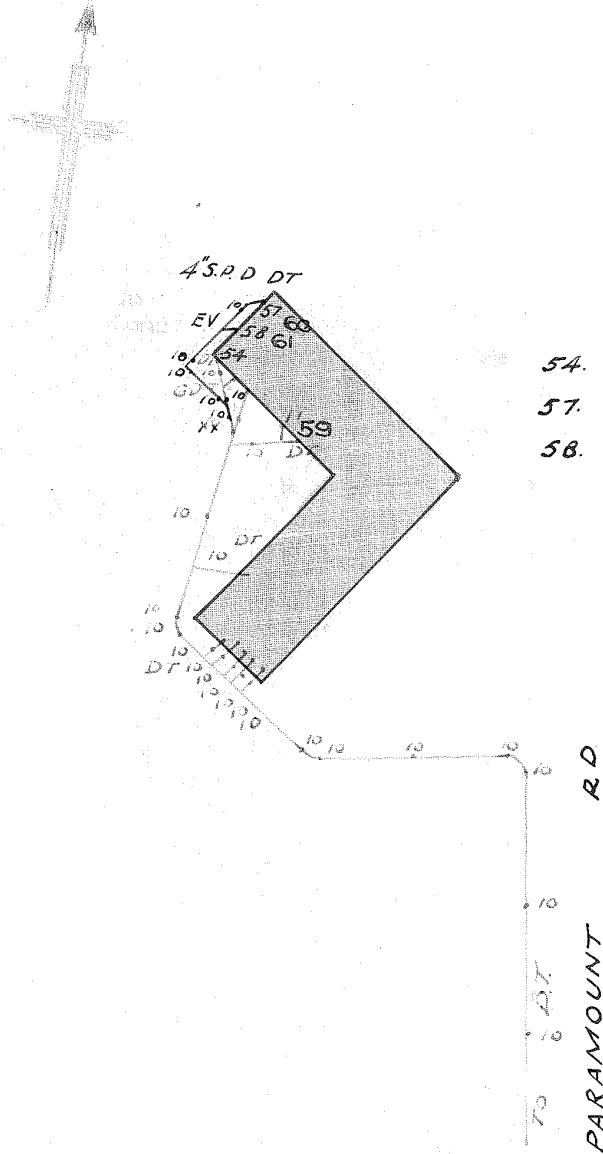
B.T. Boundary Trap	S.P.D. Stoneware Pipe Drain	I.C. Inspection Chamber	G.D.T. Gully Disconnector Trap
D.T. Disconnector Trap	G.I.T. Grease Interceptor Trap	I.O. Inspection Opening	S.I.V.P. Soil Induct. Vent Pipe
G.T. Gully Trap	S.T. Silt Trap	E.V. Educt Vent	S.V.P. Soil Vent Pipe
I.V. Induct Vent	C.I.P. Cast Iron Pipe	G.V. Ground Vent	T.I.T. Triple Interceptor Trap

The whole of the drainage and/or plumbing work shall be carried out in accordance with the By-Laws and requirements of the Board. This plan is issued subject to the Owner accepting all responsibility for the drains indicated by green lines being in the position shown and at a suitable level for the connection thereto of the additional work and for such drains being in good order and condition. Position of H.C. Branches to be determined by measurements recorded on this plan.

This plan is issued subject to the requirements of the local Municipal By-Laws being complied with. Back Verandah or Porch must be kept permanently open and not enclosed. Buildings shown on this plan have been plotted from particulars supplied by the Owner or Agent. House drains to be constructed in accordance with Type Drawing H.C.1213.

Scale: 40 feet to 1 inch.

SUPERVISOR COPY



### ADDITIONAL WORK

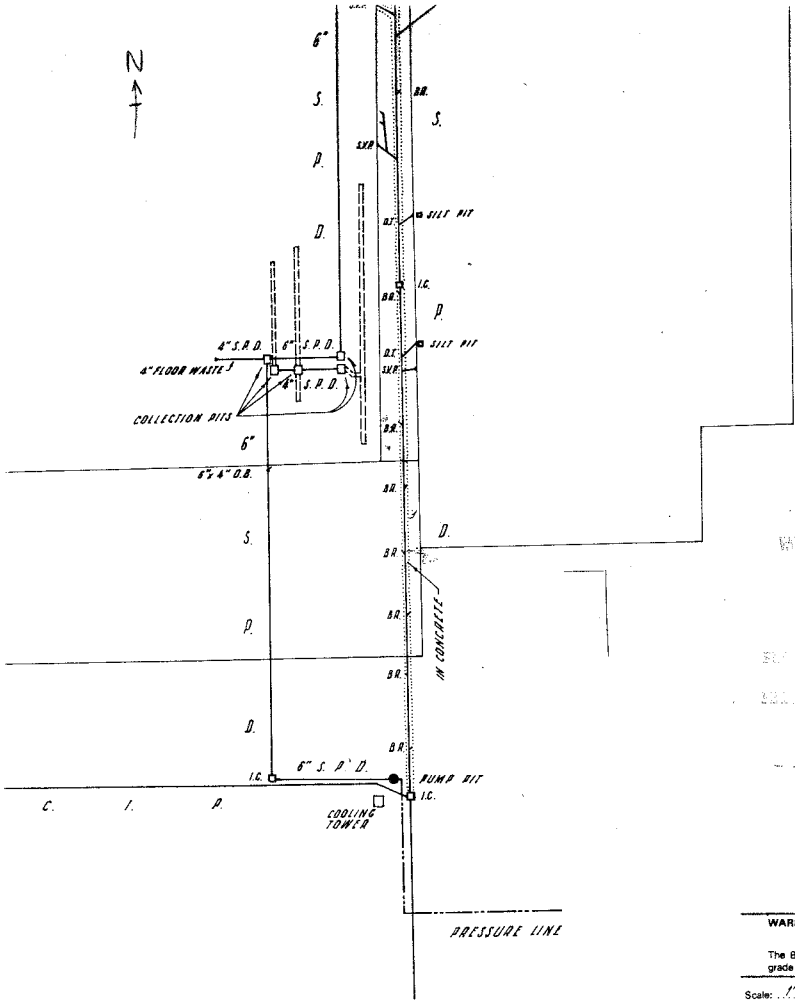
- 54. Closet to be abolished
- 57. Bath prop'd.
- 58. Basin "
- Drain to be laid shown in blue.
- Pipes with less than 18" of cover to be surrounded with 6" of cement concrete or to be of 4" C.I.P.
- 59. Troughs
- 60. Sink
- 61. Basin

WORK CARRIED OUT TO THIS PLAN.

*W. Jones*

8 SEP 1955

N



APPROVED FOR THE BOARD OF WORKS  
 13/10/1980  
 2/10/1980

WHERE SHOWN ON THIS PLAN  
 THE EXISTING  
 PROPERTY SEWERAGE  
 IS TO BE  
 DELETED

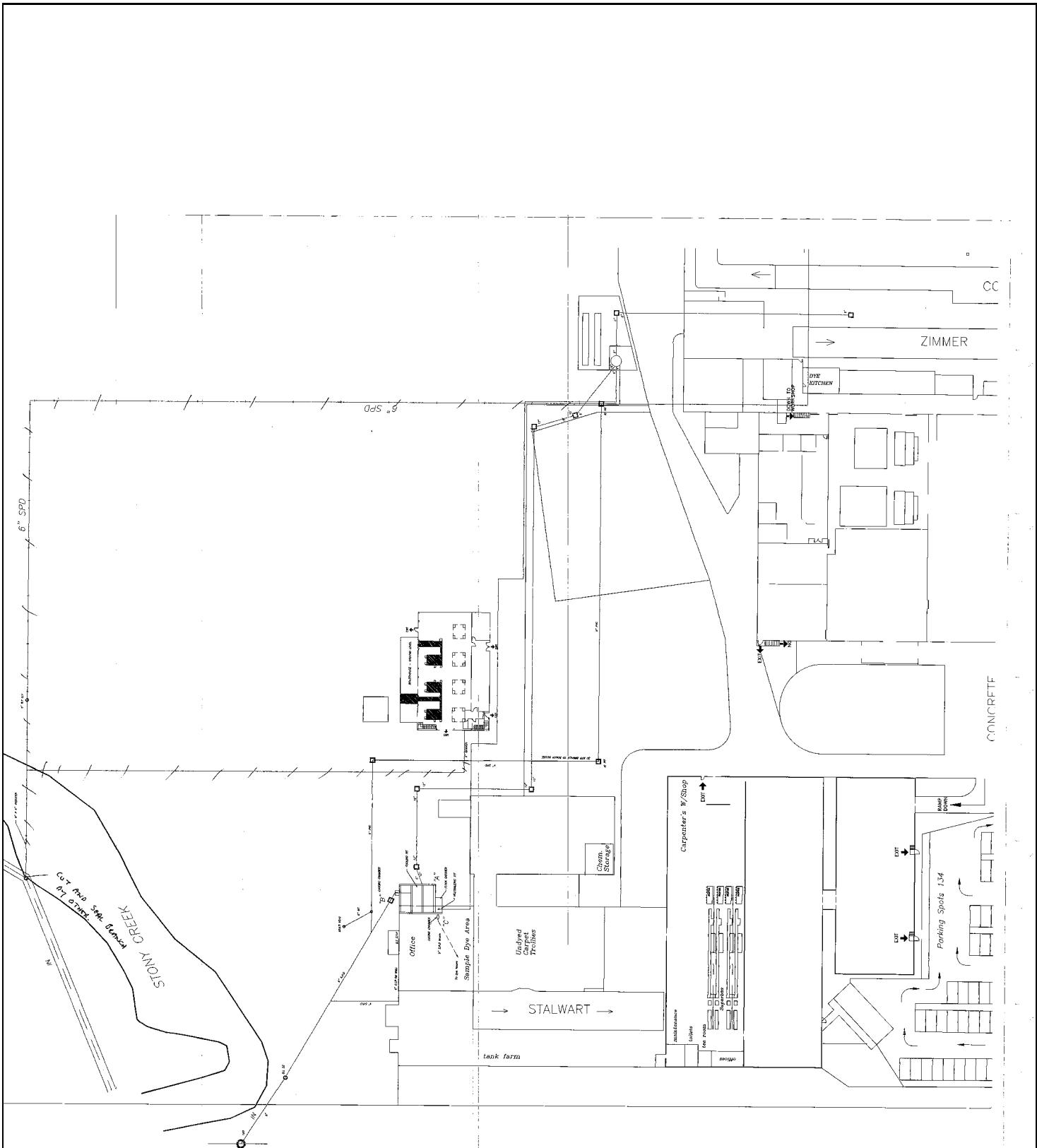
ENCUMB.	1	2	3	4	ISSUED	23 JUN 1980	Check	Check
RECORD	5	6	7	8	FINALISED			

MELBOURNE AND METROPOLITAN BOARD OF WORKS  
**PROPERTY SEWERAGE PLAN**

PROPERTY SERVICE No. 241376  
 MUNICIPALITY SUNSHINE

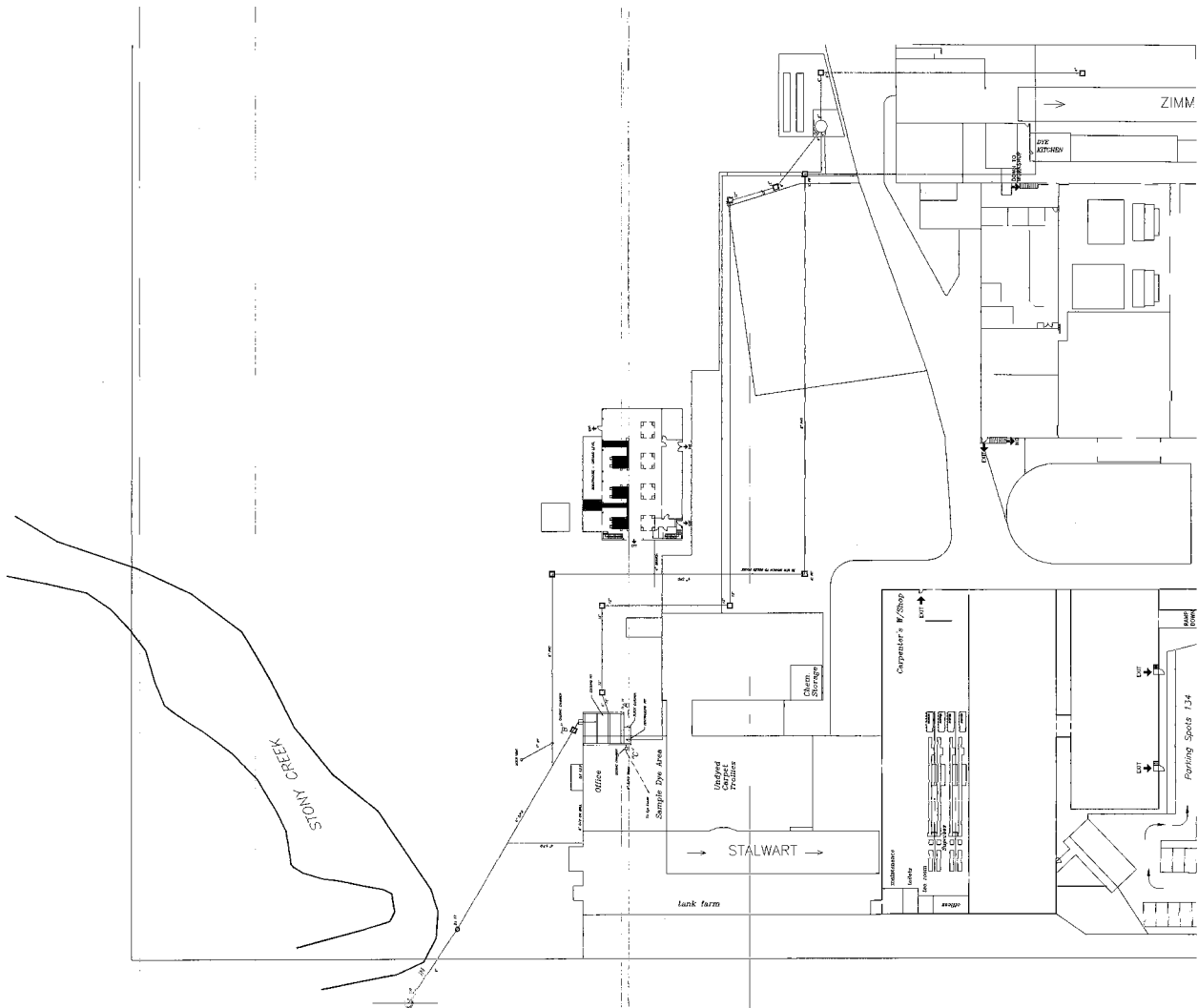
**WARNING:** Interference with any drain, sewer, water service pipe or water main without the consent of the Engineer-in-Chief is a breach of the Board's By-Laws for which penalties are provided.  
 The Board accepts no responsibility for any work occasioned by any discrepancy between the stated and actual location, size, depth and grade of any existing drains shown on this plan.

Scale: <u>1" = 40'</u>	Litho No.: <u>3698</u>	Retic. Area No.:	7/10/1980	Designed:	Examined:
------------------------	------------------------	------------------	-----------	-----------	-----------

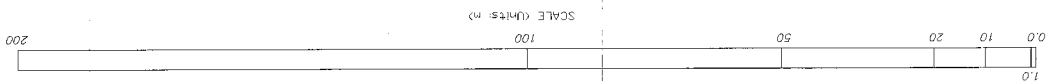


PARAMOUNT ROAD

PS 241376



PARAMOUNT ROAD



OLYMPIA ST.

PS 241376

## **Preliminary Environmental Contamination and Gas Assessment**

### **BMF Construction**

**35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria**

## **Appendix I: Dial Before You Dig Plans**



Job No 18423165

Phone: 1100  
www.1100.com.au

### Caller Details

**Contact:** Ms Samantha Strauss  
**Company:** Greencap  
**Address:** level 1 677 High Street  
Kew East VIC 3102

**Caller Id:** 1618260  
**Mobile:** 0439267120  
**Email:** samantha.strauss@greencap.com.au  
**Phone:** 0398968604  
**Fax:** Not Supplied

### Dig Site and Enquiry Details

**WARNING:** The map below only displays the location of the proposed dig site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.



**User Reference:** J164174  
**Working on Behalf of:** Private  
**Enquiry Date:** 21/10/2019  
**Start Date:** 22/10/2019  
**End Date:** 27/01/2020  
**Address:** 99 Olympia Street  
Tottenham VIC 3012  
**Job Purpose:** Excavation  
**Location of Workplace:** Private Property  
**Onsite Activity:** Vertical Boring  
**Location in Road:** Not Supplied

- Check the location of the dig site is correct. If not submit a new enquiry.
- If the scope of works change, or plan validity dates expire, resubmit your enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility. If you do not understand the plans or how to proceed safely, please contact the relevant asset owners.

#### Notes/Description of Works:

### Your Responsibilities and Duty of Care

- The lodgement of an enquiry does not authorise the project to commence. You must obtain all necessary information from any and all likely impacted asset owners prior to excavation.
- If plans are not received within 2 working days, contact the asset owners directly & quote their Sequence No.
- ALWAYS perform an onsite inspection for the presence of assets. Should you require an onsite location, contact the asset owners directly. Please remember, plans do not detail the exact location of assets.
- Pothole to establish the exact location of all underground assets using a hand shovel, before using heavy machinery.
- Ensure you adhere to any State legislative requirements regarding Duty of Care and safe digging requirements.
- If you damage an underground asset you MUST advise the asset owner immediately.
- By using this service, you agree to Privacy Policy and the terms and disclaimers set out at [www.1100.com.au](http://www.1100.com.au)
- For more information on safe excavation practices, visit [www.1100.com.au](http://www.1100.com.au)

### Asset Owner Details

The assets owners listed below have been requested to contact you with information about their asset locations within 2 working days. Additional time should be allowed for information issued by post. It is **your responsibility** to identify the presence of any underground assets in and around your proposed dig site. Please be aware, that not all asset owners are registered with the Dial Before You Dig service, so it is **your responsibility** to identify and contact any asset owners not listed here directly.

\*\* Asset owners highlighted by asterisks \*\* require that you visit their offices to collect plans.

# Asset owners highlighted with a hash require that you call them to discuss your enquiry or to obtain plans.

Seq. No.	Authority Name	Phone	Status
91268115	AusNet Gas Services Pty Ltd	1800088208	NOTIFIED
91268116	City West Water Ltd.	0393138379	NOTIFIED
91268112	Jemena Electricity Networks (Vic)	1300825469	NOTIFIED
91268111	Maribyrnong City Council	0390324025	NOTIFIED
91268117	Melbourne Water	0396796866	NOTIFIED
91268118	NBN Co, VicTas	1800626762	NOTIFIED
91268114	Optus and/or Uecomm, Vic	1800505777	NOTIFIED
91268113	Telstra VICTAS	1800653935	NOTIFIED

END OF UTILITIES LIST

Lodge Your Free Enquiry Online – 24 Hours a Day, Seven Days a Week

Dear Ms Samantha Strauss,

**Re: Dial Before You Dig - Sequence No 91268117**

Location Details

Address: 99 Olympia Street  
Tottenham, VIC, 3012

Map Ref: 41D5,41D6,41E5,41E6

Activity: Vertical Boring

Commencement Date: 22/10/2019

Area of Interest As per attached plan

According to our records your enquiry with the above details impacts our infrastructure. Please review other documents included with this response for additional detail.

**Please note, the attached plans do not constitute approval from Melbourne Water.**

For **detailed asset locations**, please email [DBYD@melbournewater.com.au](mailto:DBYD@melbournewater.com.au) allowing **at least 5 business days** for detailed plans to be provided.

If planning to undertake work over, under or near any Melbourne Water asset please contact the **Asset Services team** on **131 722** or at <http://melbournewater.com.au/constructingnearassets> **at least 14 days prior** to the commencement of any work.

Melbourne Water Corporation (MWC) shall not be responsible or otherwise liable in anyway for loss of any kind including, without limiting the generality of the foregoing damages, costs, interest, loss of profits or special loss or damage arising from any error, inaccuracy, incompleteness or other defect in this information.

By receiving and accepting this information the recipient acknowledges that Melbourne Water Corporation makes no representation as to the accuracy or completeness of this information. The exact location of Melbourne Water Corporation's assets as set out in this information should be confirmed on site by the recipient prior to the commencement of work.

**Please Note: Due to ongoing potential asset changes the attached plan/s is/are valid for 28 days from the date of issue. After that period the plan/s should not be used, rather a new plan should be obtained.**

**Warning: Assets may contain asbestos material and therefore works on these assets must be undertaken in accordance with OHS (asbestos) Regulations.**

Melbourne Water Corporation provides wholesale Water Supply and Sewerage services to City West Water, South East Water and Yarra Valley Water, who in turn provide local residents with Water Supply and Sewerage services. MWC, in conjunction with Local Government, manage Melbourne's drainage infrastructure. Local councils maintain the local drainage infrastructure, while MWC provides the major infrastructure.

The attached plans only show MWC's assets and not all Water Supply, Sewerage and Drainage pipelines.

For location of local Water Supply and Sewer pipelines please contact:

**City West Water**      **13 26 42**

**South East Water**    **9552 3770**

**Yarra Valley Water**   **1300 651 511**

For location of local Drainage pipelines please contact the relevant Council.

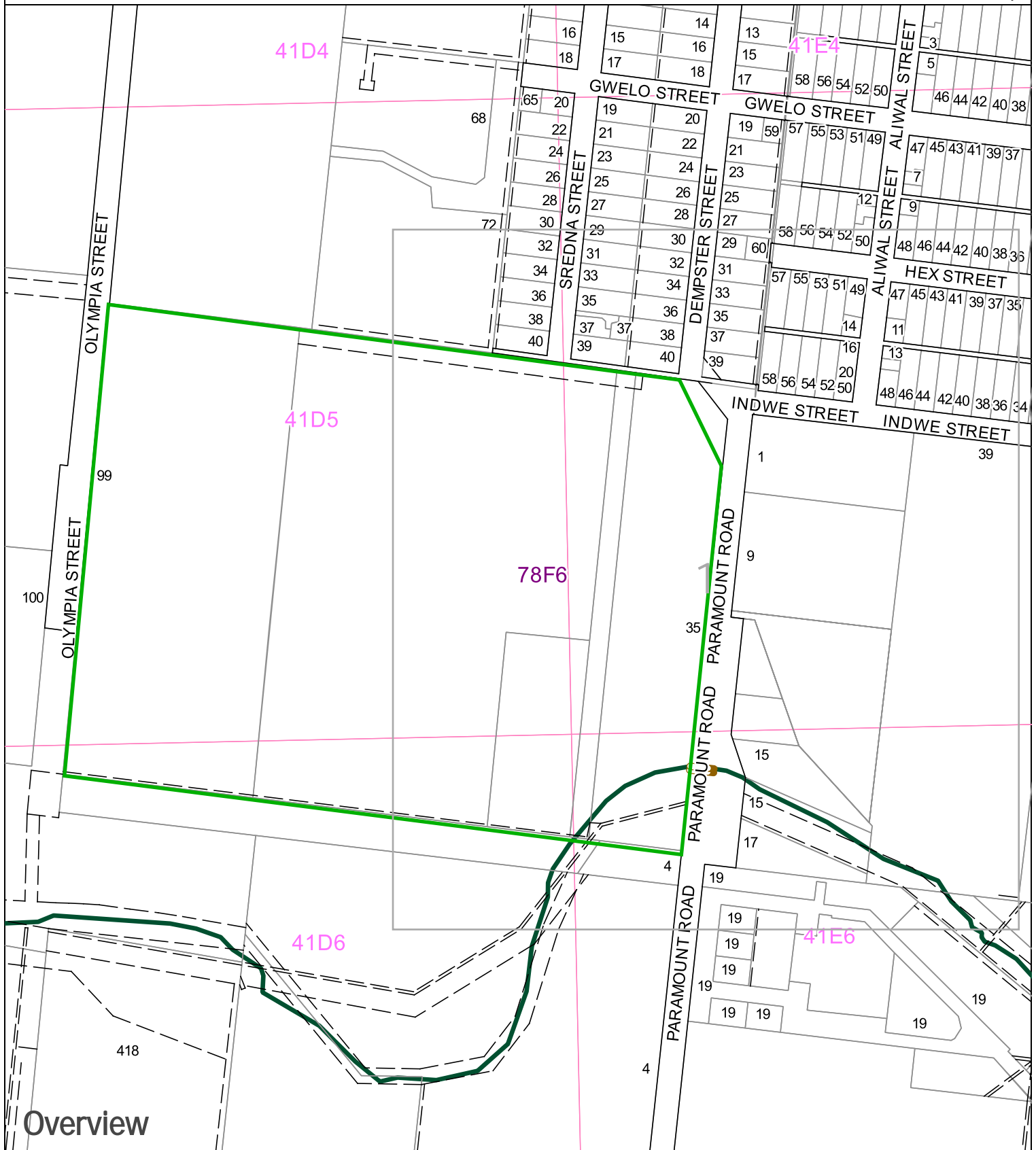
Melbourne Water respects the privacy of your personal information and we collect and handle it in accordance with Victoria's Privacy laws. You may access your personal information at Melbourne Water. Contact our Privacy Officer: phone 131 722, email [enquiry@melbournewater.com.au](mailto:enquiry@melbournewater.com.au).

Melbourne Water Corporation  
Address: 990 La Trobe Street, Docklands  
Postal Address: PO Box 4342, Melbourne, VIC 3001  
T (VIC): 131 722  
T (AUS): (03) 9679 7100  
F: (+61-3) 9679 7200













The Essential First Step.

While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Melbourne Water Corporation or PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.



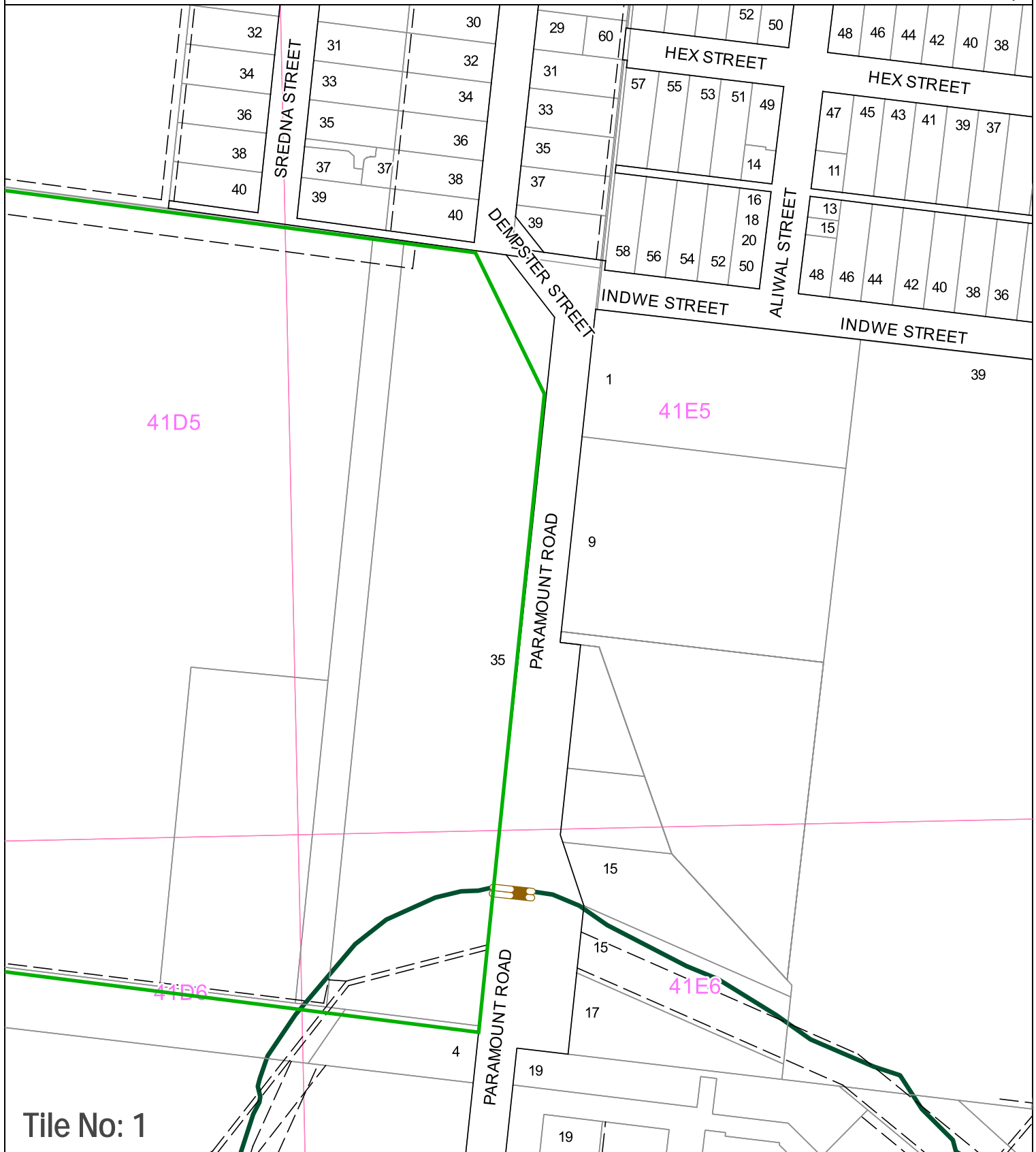
**Overview**

Legend | Scale: 1:3279

- |  |                                |   |                        |
|--|--------------------------------|---|------------------------|
|  | Drainage pipeline              |  | Area of interest       |
|  | Open drainage channel          |  | Easement               |
|  | Natural waterway (River/Creek) |  | Property boundary      |
|  |                                |  | House number unknown   |
|  |                                |  | VicRoads map reference |
|  |                                |  | Melway map reference   |










Assets may contain asbestos material and therefore works on these assets must be undertaken in accordance with OHS (asbestos) Regulations.

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Tile No: 1

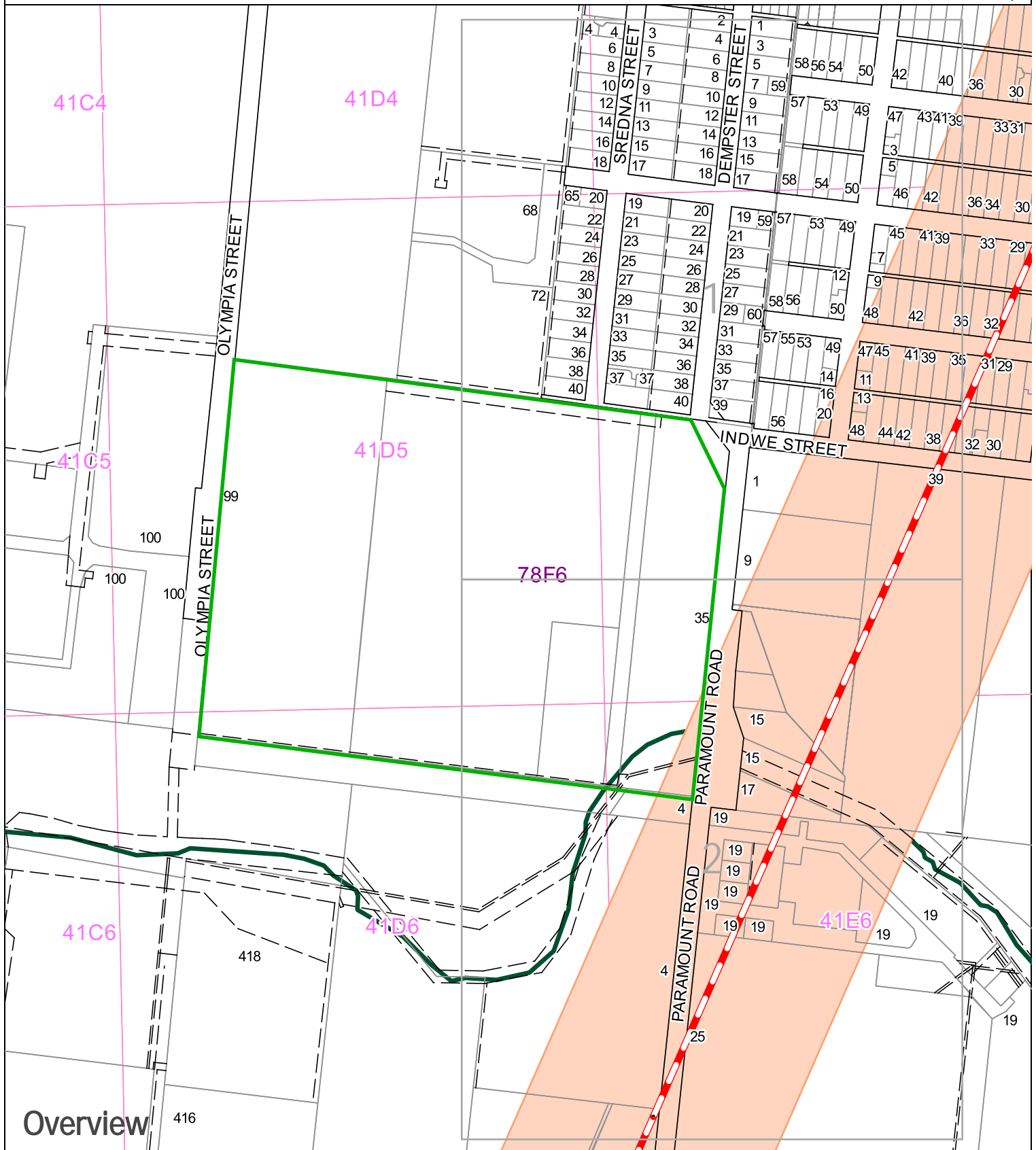
Legend | Scale: 1:2000

-  Drainage pipeline
-  Open drainage channel
-  Natural waterway (River/Creek)
-  Area of interest
-  Easement
-  Property boundary
-  House number unknown
-  VicRoads map reference
-  Melway map reference



Assets may contain asbestos material and therefore works on these assets must be undertaken in accordance with OHS (asbestos) Regulations.

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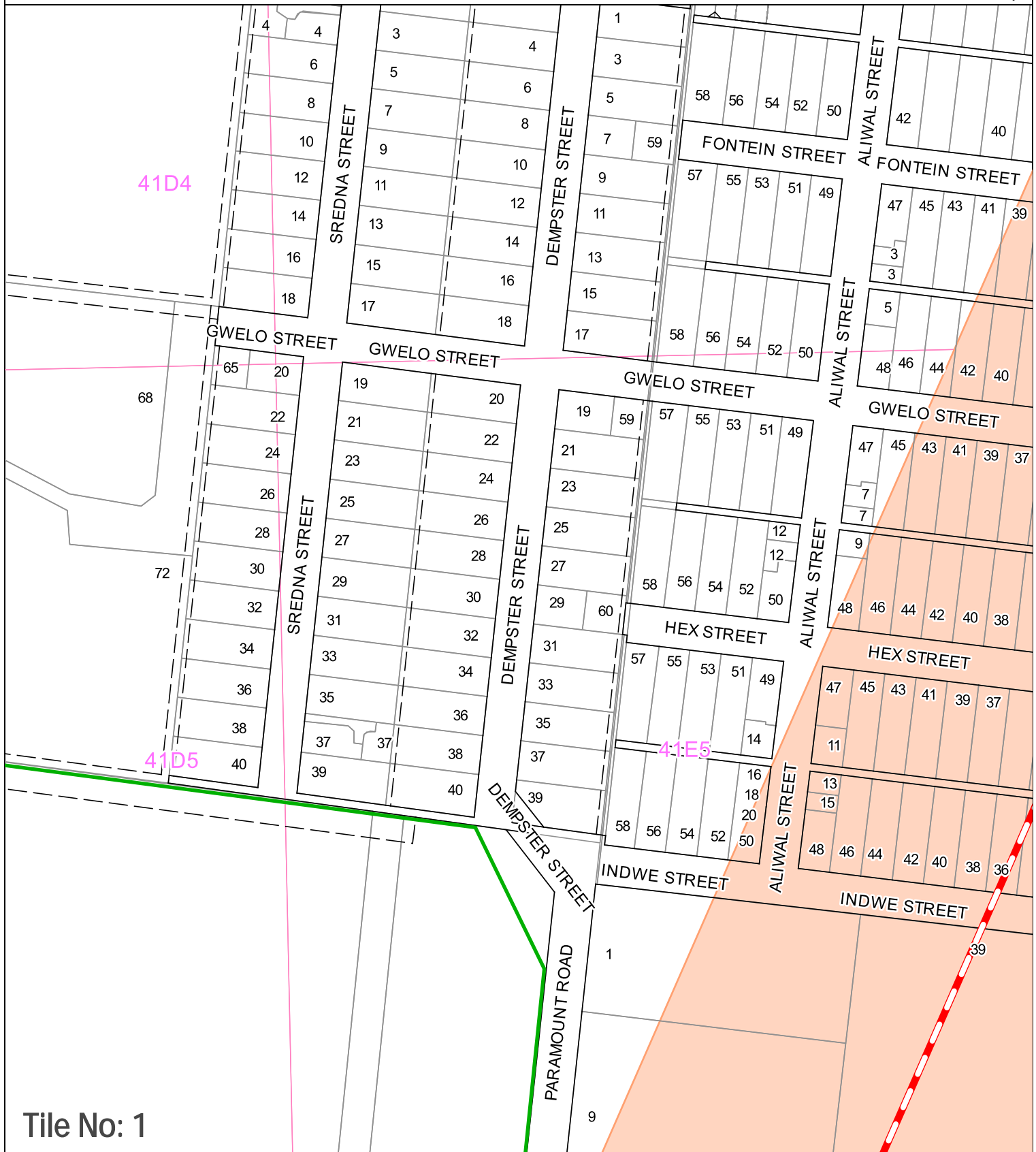
**Overview**

Legend | Scale: 1:4100

-  Sewer main
-  Abandoned sewer main
-  Sewer buffer  
Please contact the Melbourne Water Asset Service team on 9679 5614 if proposed works are to be undertaken within the shaded area
-  Area of interest
-  Easement
-  Property boundary
-  House number unknown
-  VicRoads map reference
-  Melway map reference

Assets may contain asbestos material and therefore works on these assets must be undertaken in accordance with OHS (asbestos) Regulations.

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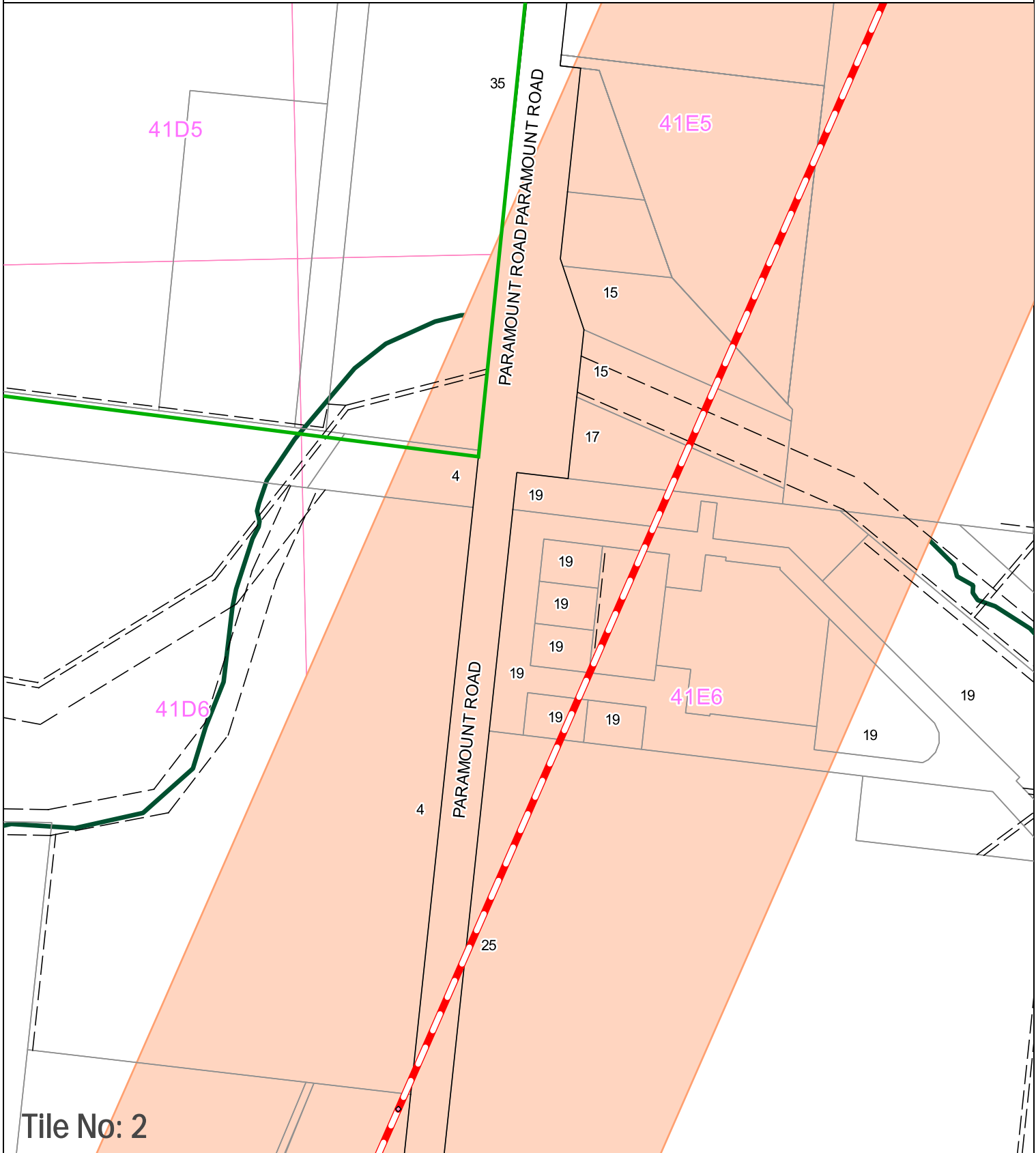
Tile No: 1

Legend | Scale: 1:2000

-  Sewer main
-  Abandoned sewer main
-  Sewer buffer  
Please contact the Melbourne Water Asset Services team on 9673 5614 if proposed works are to be undertaken within the shaded area
-  Area of interest
-  Easement
-  Property boundary
-  House number unknown
-  VicRoads map reference
-  Melway map reference

Assets may contain asbestos material and therefore works on these assets must be undertaken in accordance with OHS (asbestos) Regulations.

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Tile No: 2

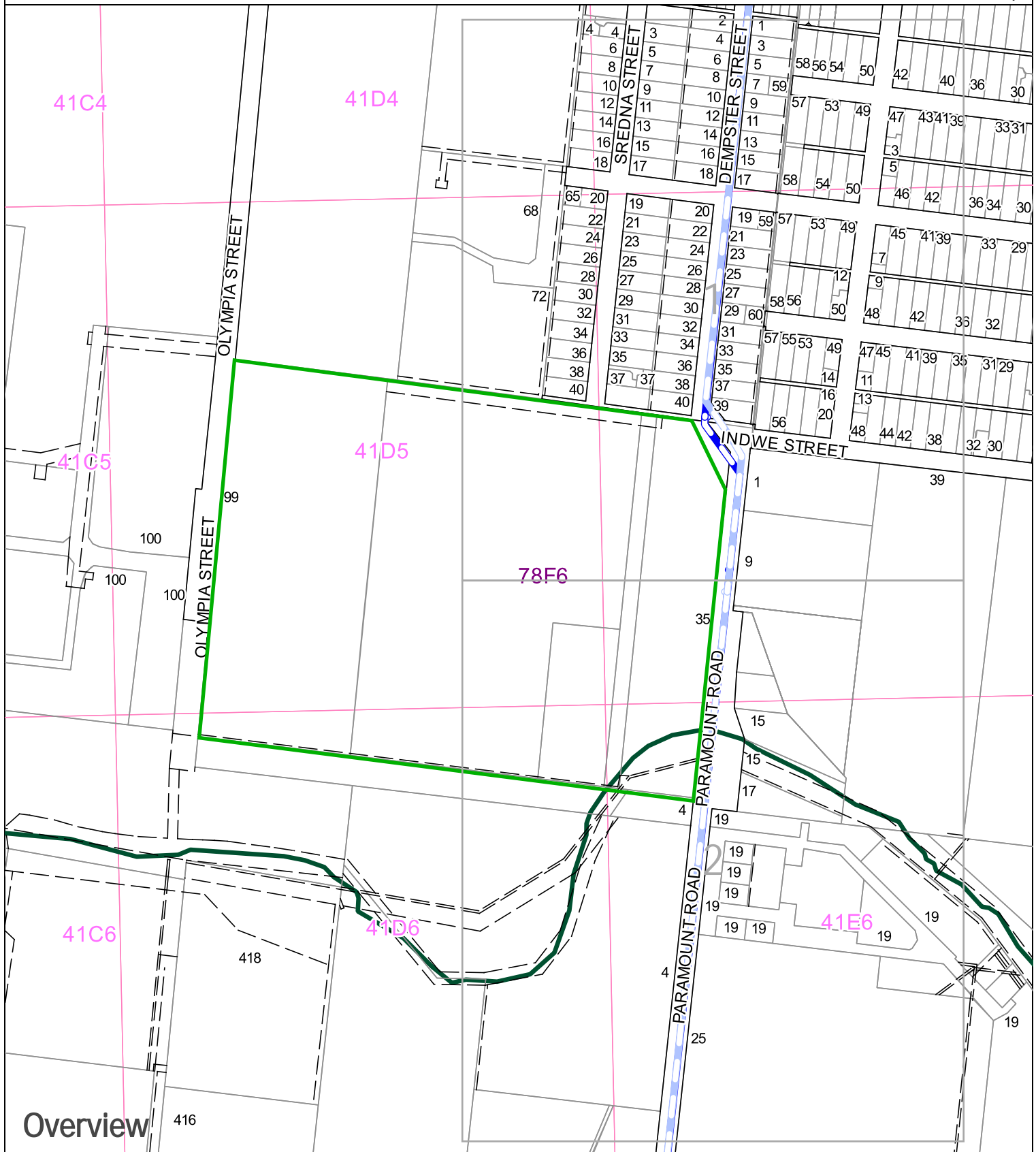
Legend | Scale: 1:2000

-  Sewer main
-  Abandoned sewer main
-  Sewer buffer  
Please contact the Melbourne Water Asset Services team on 9679 5614 if proposed works are to be undertaken within the shaded area.
-  Area of interest
-  Easement
-  Property boundary
-  House number unknown
-  VicRoads map reference
-  Melway map reference













Assets may contain asbestos material and therefore works on these assets must be undertaken in accordance with OHS (asbestos) Regulations.

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**Overview**

Legend | Scale: 1:4100

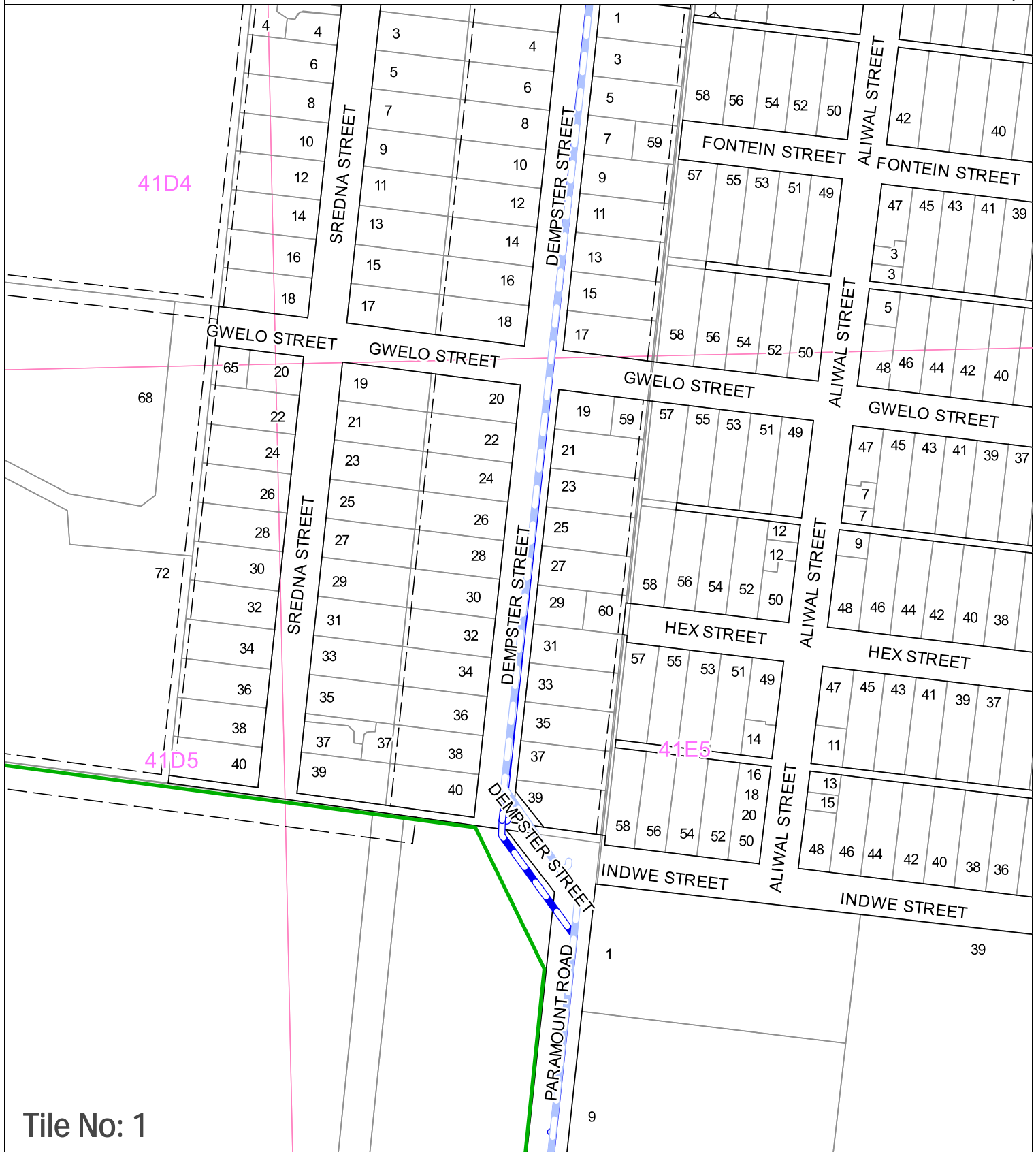
-  Water supply main
-  Abandoned water supply main
-  Water supply scour
-  Cathodic protection zone
-  Area of interest
-  Easement
-  Property boundary
-  House number unknown
-  VicRoads map reference
-  Melway map reference

Area of possible interference from nearby cathodic protection system. If installing buried metallic structures or services, please contact MWC Civil Asset team on 9679 6614 to discuss impact of planned works.













Assets may contain asbestos material and therefore works on these assets must be undertaken in accordance with OHS (asbestos) Regulations.

**DISCLAIMER:** While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Melbourne Water or PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.



Tile No: 1

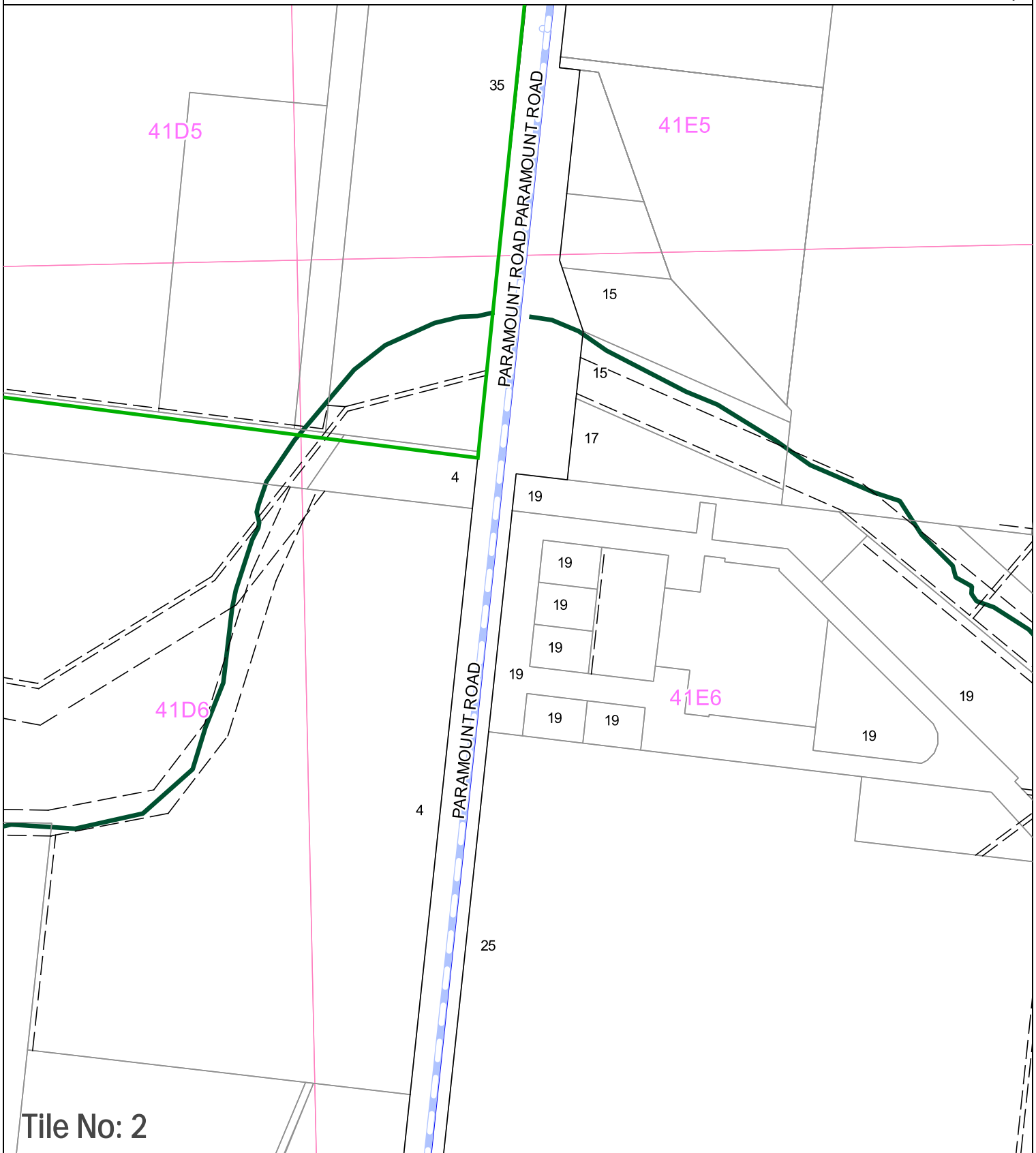
Legend | Scale: 1:2000

-  Water supply main
-  Abandoned water supply main
-  Water supply scour
-  Cathodic protection zone
-  Area of interest
-  Easement
-  Property boundary
-  House number unknown
-  VicRoads map reference
-  Melway map reference

Area of possible interference from nearby cathodic protection system. If installing buried metallic structures or services, please contact MWC Civil Asset team on 9679 5614 to discuss impact of planned works.







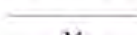



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Tile No: 2

Legend | Scale: 1:2000

-  Water supply main
-  Abandoned water supply main
-  Water supply scour
-  Cathodic protection zone
-  Area of interest
-  Easement
-  Property boundary
-  House number unknown
-  VicRoads map reference
-  Melway map reference

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# Dial Before You Dig

## City West Water Plan Request

Monday, 21 October 2019

**TO:** Ms Samantha Strauss  
level 1 677 High Street  
Kew East  
3102 VIC  
**EMAIL / FAX:** samantha.strauss@greencap.com.au

**FROM:** CWW Dial Before You Dig

**EMAIL:** connections@citywestwater.com.au

**Site Location details:**

**99 Olympia Street, Tottenham, VIC, 3012**

**SEQUENCE NUMBER**

91268116

**JOB NUMBER**

18423165

Dear Ms Samantha Strauss,  
Thank you for your Dial Before You Dig Request. Please find attached the Water and Sewerage plans as requested.

### Important Information

- The location of assets must be proved in the field by the applicant prior to the commencement of work. These plans do not indicate private services.
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### Contact Information:

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( Please note, the following services will incur a processing fee )

- Sewer Detail Plan
- Asset Information Plan
- Property Service Plan ( Internal Pipes )

City West Water 13 16 91  
City West Water 13 16 91  
Casey Inspection 9835 5511



**MOCS SEQUENCE No. 18423165:91268116**

**99 Olympia Street, Tottenham VIC 3012**

**Melway Reference: 41D6**

# WATER PLAN

Scale 1: 2577

Date: 21/10/2019



City West Water

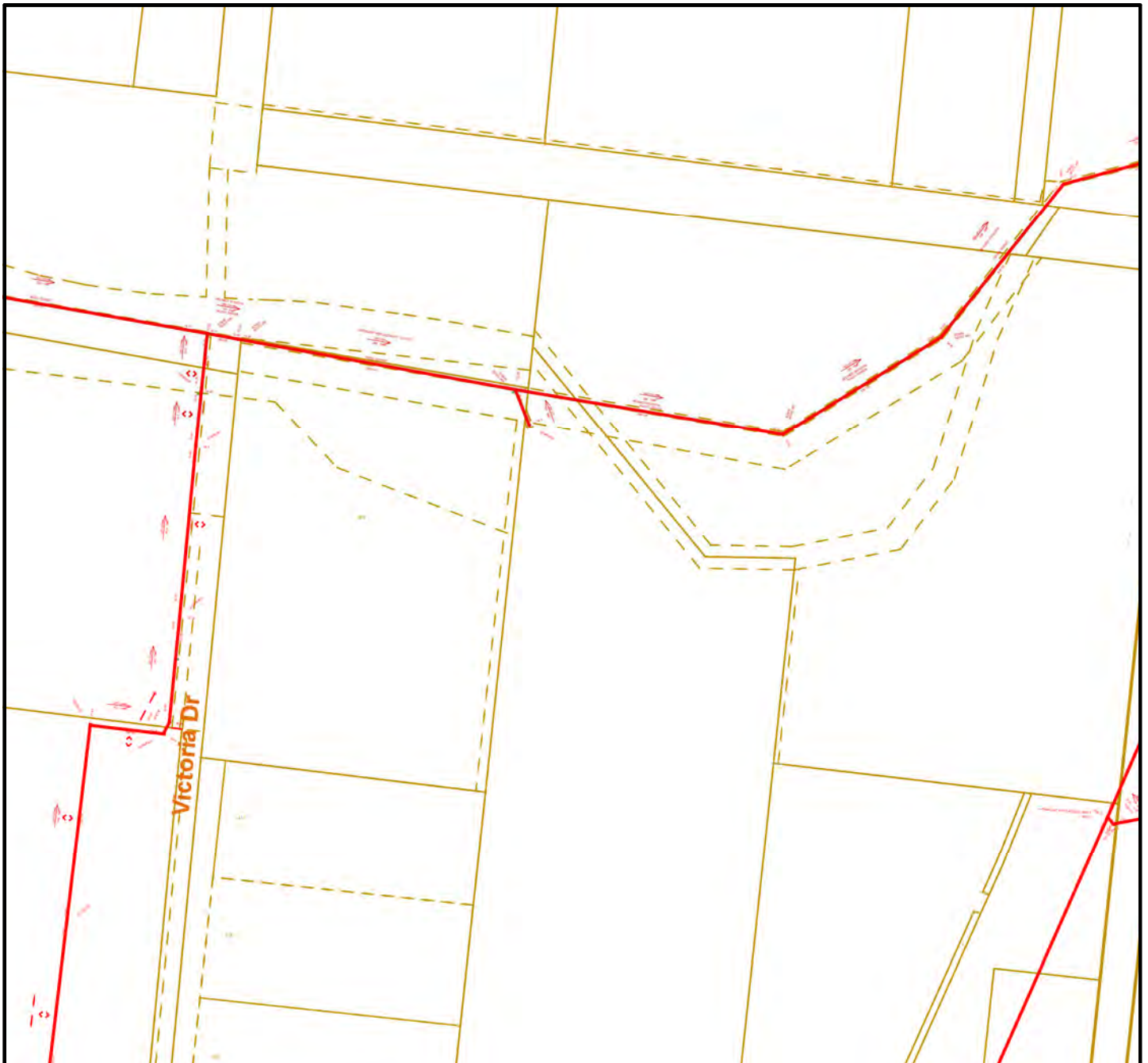


## LEGEND

Water Main		Valve ( or Stop Cock)		Hydrant – City West Water		Hydrant – Valve Controlled	
Transfer Water Main		Air Valve, Shut Valve		Hydrant – Council		Fireplug – Valve Controlled	
Recycled Water Main		Pressure Reducing Valve		Hydrant – Council/ Water Authority		Chlorination Installation	
Abandoned Water Main		Needle Valve, Altitude Valve		Fireplug – City West Water		Electrolysis Installation	
Offset of Water Main		Pressure Sustaining Valve		Fireplug – Council		Recorder – Depth, Pressure, Flow	
Pipe Diameter, Type	100 C1CL	Scour, Pumping Point		Fireplug – Council/ Water Authority		Dialysis	
Pipe Construction Date	01.01.1900	Manhole		Washout		Insulating Joint	
		Reducer or Taper		Washout – Valve Controlled			

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**MOCS SEQUENCE No. 18423165:91268116**

**99 Olympia Street, Tottenham VIC 3012**

**Melway Reference: 41D6**

# SEWER PLAN

**Scale 1: 2577**

**Date: 21/10/2019**



City West Water



## LEGEND

Access Shaft		Inspection Shaft		Sewer Main	
Circular Manhole		Circular Pump Well		Abandoned Sewer Main	
Gas Check Manhole		Vent In-Ground		Direction of Flow	
Square Manhole		End of Pipe		Ventilation Structure	
Rectangular Manhole		Pipe Junction		Change of Grade	
Chambered Manhole		Long Branch Reducer			

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Kew East  
3102 VIC  
**EMAIL / FAX:** samantha.strauss@greencap.com.au

**FROM:** CWW Dial Before You Dig

**EMAIL:** connections@citywestwater.com.au

**Site Location details:**

**99 Olympia Street, Tottenham, VIC, 3012**

**SEQUENCE NUMBER**

91268116

**JOB NUMBER**

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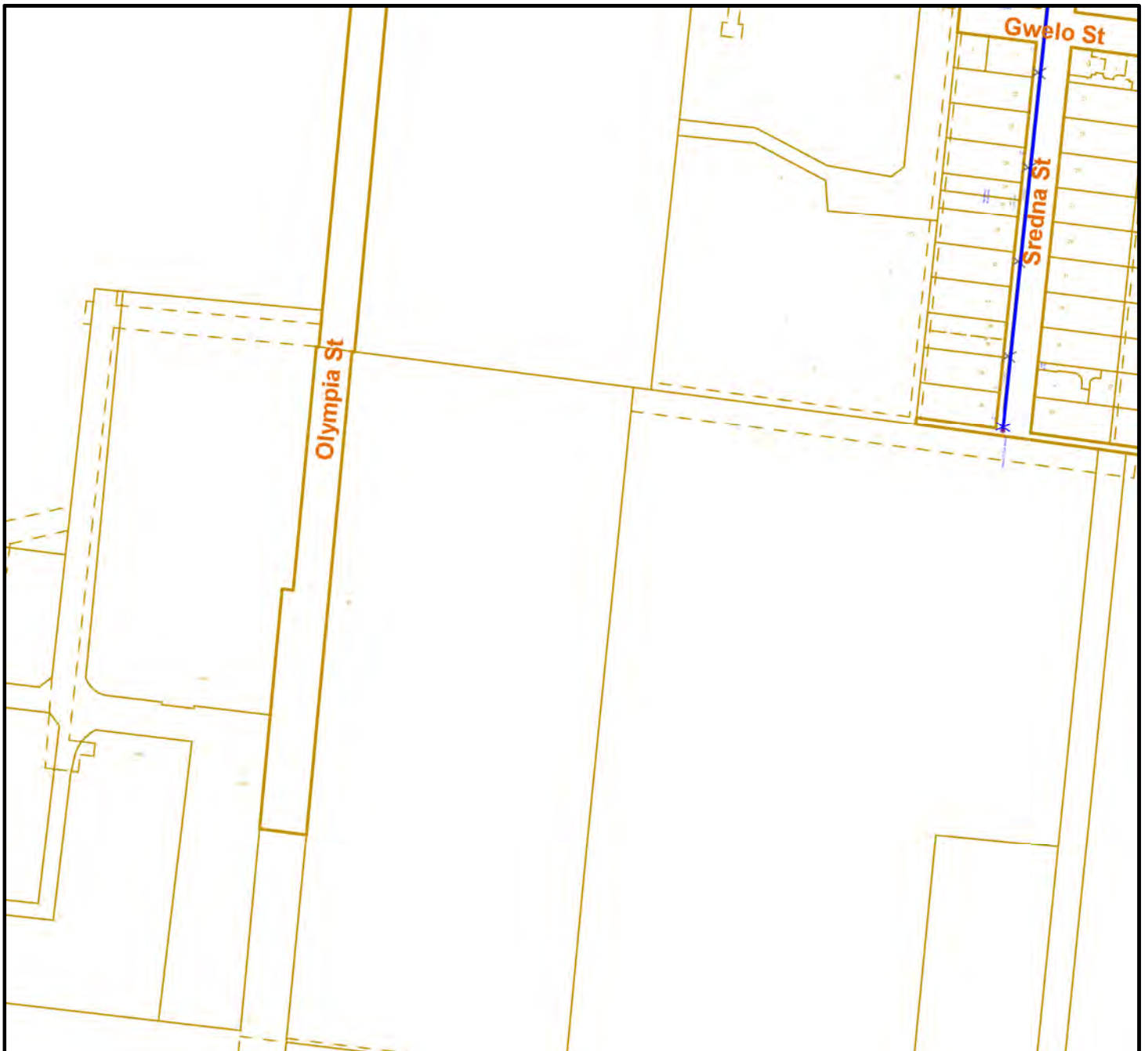
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- |  |                            |
|--|----------------------------|
| • Sewer Detail Plan                        | City West Water 13 16 91   |
| • Asset Information Plan                   | City West Water 13 16 91   |
| • Property Service Plan ( Internal Pipes ) | Casey Inspection 9835 5511 |



**MOCS SEQUENCE No. 18423165:91268116**

**99 Olympia Street, Tottenham VIC 3012**

**Melway Reference: 41D5**

# WATER PLAN

**Scale 1: 2577**

**Date: 21/10/2019**



City West Water

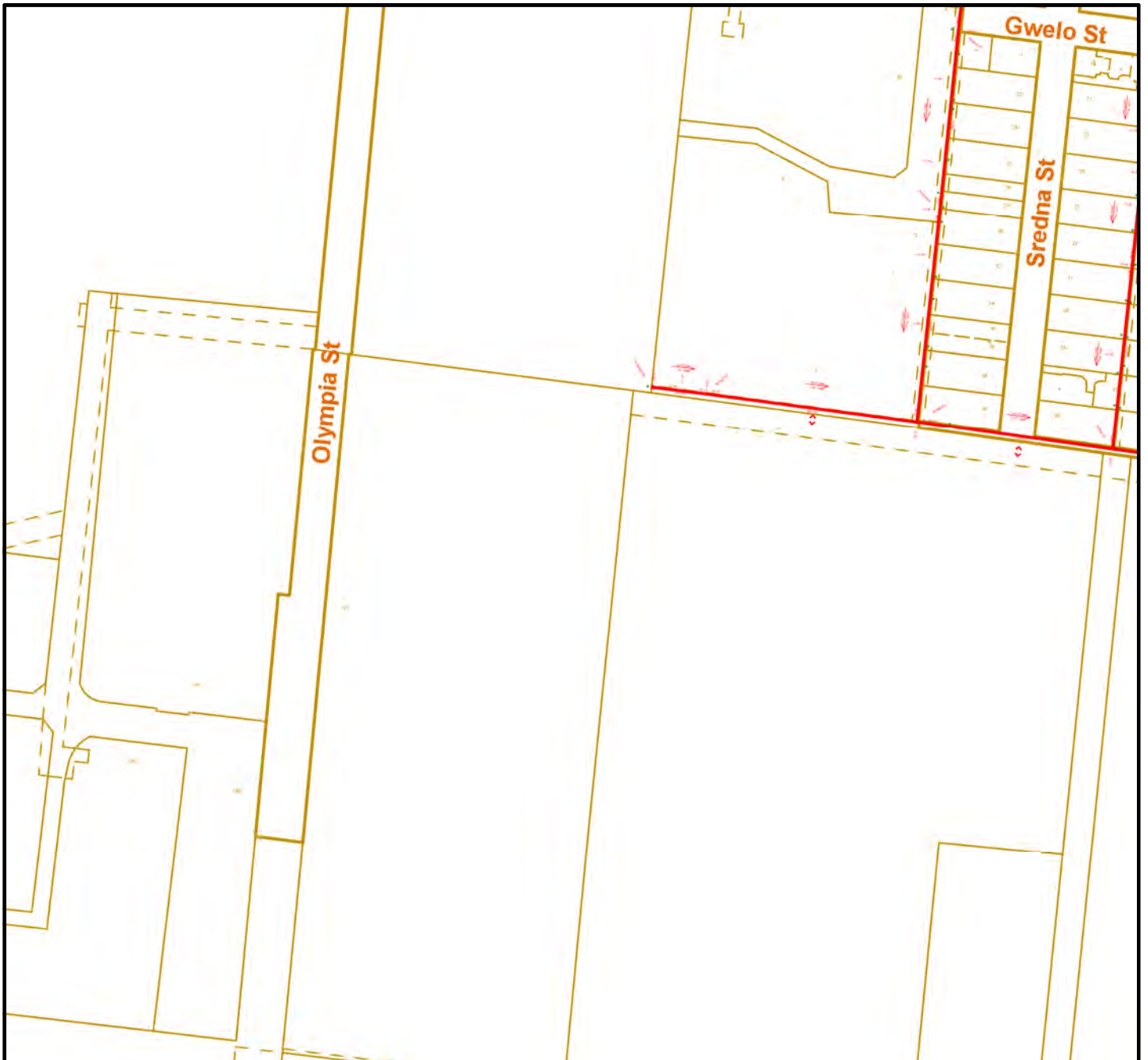


## LEGEND

Water Main		Valve ( or Stop Cock)		Hydrant – City West Water		Hydrant – Valve Controlled	
Transfer Water Main		Air Valve, Shut Valve		Hydrant – Council		Fireplug – Valve Controlled	
Recycled Water Main		Pressure Reducing Valve		Hydrant – Council/ Water Authority		Chlorination Installation	
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Offset of Water Main		Pressure Sustaining Valve		Fireplug – Council		Recorder – Depth, Pressure, Flow	
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**MOCS SEQUENCE No. 18423165:91268116**

**99 Olympia Street, Tottenham VIC 3012**

**Melway Reference: 41D5**

# SEWER PLAN

**Scale 1: 2577**

**Date: 21/10/2019**



City West Water



## LEGEND

Access Shaft		Inspection Shaft		Sewer Main	
Circular Manhole		Circular Pump Well		Abandoned Sewer Main	
Gas Check Manhole		Vent In-Ground		Direction of Flow	
Square Manhole		End of Pipe		Ventilation Structure	
Rectangular Manhole		Pipe Junction		Change of Grade	
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**MOCS SEQUENCE No. 18423165:91268116**

**99 Olympia Street, Tottenham VIC 3012**

**Melway Reference: 41E5**

# WATER PLAN

Scale 1: 2577

Date: 21/10/2019



City West Water



## LEGEND

Water Main		Valve ( or Stop Cock)		Hydrant – City West Water		Hydrant – Valve Controlled	
Transfer Water Main		Air Valve, Shut Valve		Hydrant – Council		Fireplug – Valve Controlled	
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**99 Olympia Street, Tottenham VIC 3012**

**Melway Reference: 41E5**

# SEWER PLAN

**Scale 1: 2577**

**Date: 21/10/2019**



City West Water



## LEGEND

Access Shaft		Inspection Shaft		Sewer Main	
Circular Manhole		Circular Pump Well		Abandoned Sewer Main	
Gas Check Manhole		Vent In-Ground		Direction of Flow	
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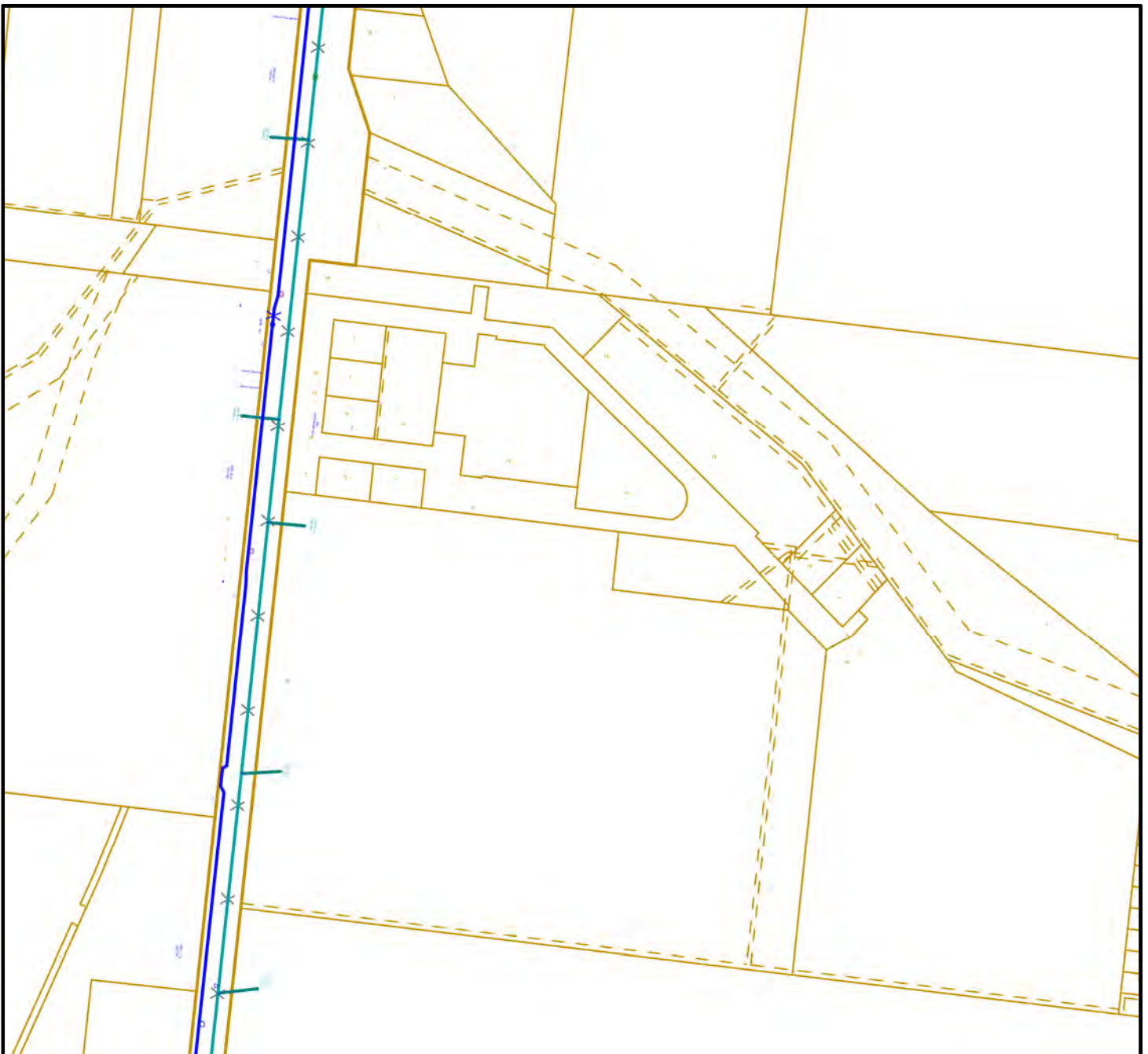
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City West Water 13 16 91  
City West Water 13 16 91  
Casey Inspection 9835 5511



**MOCS SEQUENCE No. 18423165:91268116**

**99 Olympia Street, Tottenham VIC 3012**

**Melway Reference: 41E6**

# WATER PLAN

**Scale 1: 2577**

**Date: 21/10/2019**



City West Water

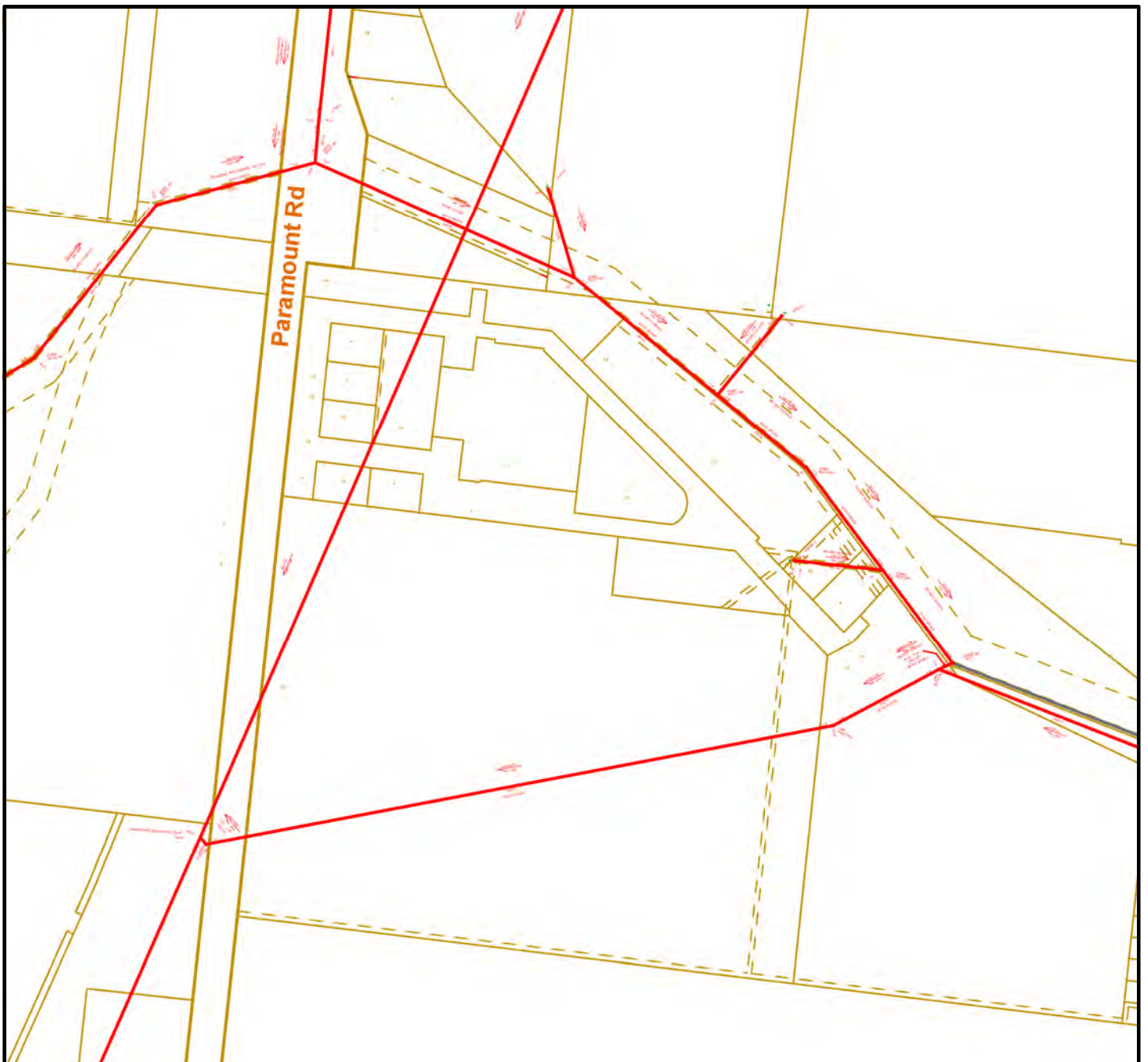


## LEGEND

Water Main		Valve ( or Stop Cock)		Hydrant – City West Water		Hydrant – Valve Controlled	
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# SEWER PLAN

**Scale 1: 2577**

**Date: 21/10/2019**



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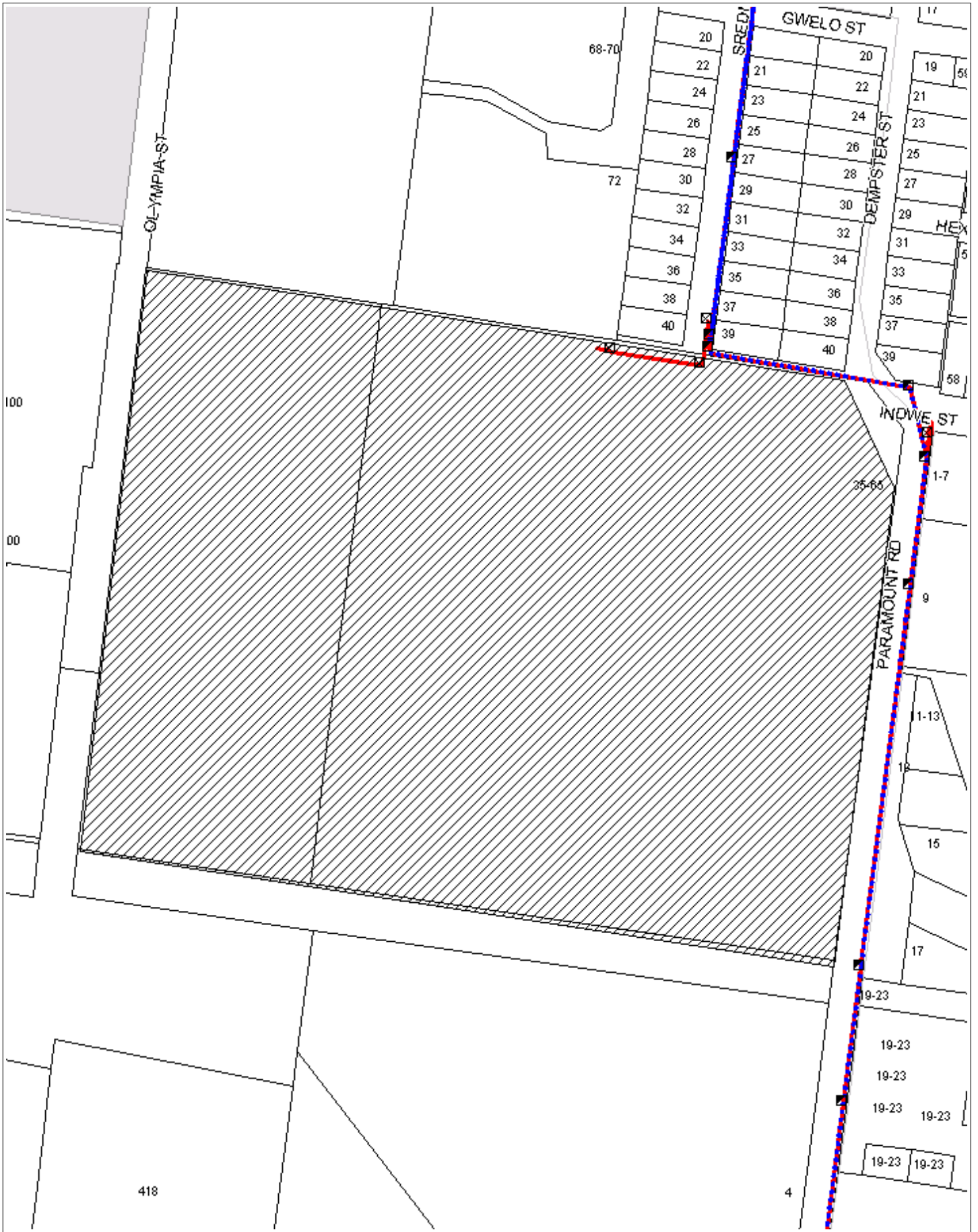


## LEGEND

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WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. Optus Plans and information supplied are valid for 30 days from the date of issue. If this timeline has elapsed please raise a new enquiry.

Sequence Number: 91268114

Date Generated: 21/10/2019



For all Optus DBYD plan enquiries –  
 Email: [Fibre.Locations@optus.net.au](mailto:Fibre.Locations@optus.net.au)  
 For urgent onsite assistance contact 1800 505 777  
 Optus Limited ACN 052 833 208





21/10/2019

Jemena Electricity Networks (Vic) Ltd  
ABN 82 064 651 083

Ms Samantha Strauss  
Greencap  
level 1 677 High Street,  
Kew East, VIC 3102

Level 16, 567 Collins St,  
Melbourne, Vic 3000  
[www.jemena.com.au](http://www.jemena.com.au)

1300 825 469

## Dial Before You Dig Enquiry Response

Job Number: 18423165  
Sequence Number: 91268112  
Authority Name: Private  
Enquiry Date: 21/10/2019  
Enquiry Location: 99 Olympia Street  
Tottenham, VIC 3012

## Underground Electricity - Assets Affected

Please find attached plans and drawings of electricity underground assets nearest to the vicinity of your enquiry.  
This information is only valid for 28 days from the date of issue.

### Attached to this response are the following documents and comments:

Jemena Assets Affected Cover Letter and Conditions

Dig site plan(s)

Drawings:

AO95\_A.pdf, FC25\_A.pdf, JCX031\_D.pdf, JCY030\_B.pdf, JCY031\_A.pdf

YU47\_A.pdf

### For Your Safety

If you observe obvious underground electrical cables and they appear to be additional to the information supplied, please call 1300 825 469 for further assistance.

**DO NOT PROCEED UNTIL YOU HAVE READ THIS NOTICE IN FULL**

DBYD Enquiries 1300 825 469

Faults & Emergencies 131 626

[www.jemena.com.au](http://www.jemena.com.au)



## CONDITIONS FOR WORKING IN THE VICINITY OF UNDERGROUND CABLES

SEQUENCE NUMBER : 91268112

DATE OF ISSUE : 21/10/2019

**NOTE:** Other Utilities may have electrical assets in the vicinity of your work about which we have no information. This office does not usually have plans of privately owned cables on private property. Your attention is expressly drawn to the information and disclaimers below and **'The Conditions for Working in the Vicinity of Underground Cables' attached.**

Your attention is expressly drawn to the information and disclaimers below.

1. Jemena Electricity Networks (Vic) Ltd. takes all reasonable care in providing details of its cables, however, due to the nature of underground cables and the age of some cables and records, it is impossible to conclusively ascertain the location of all cables. The accuracy and/or completeness of the information cannot be guaranteed and, accordingly, is intended to be indicative only. Information should not be solely relied upon when undertaking underground works.
2. Due to the inherent dangers associated with excavation in the vicinity of underground cables, precautions should be taken in the undertaking of any underground works, including (but not limited to) the following:
  - All excavation sites should be examined visually for underground cables by careful hand excavation. Cable cover slabs if present must not be disturbed;
  - Particular attention should be paid to areas surrounding all High Voltage Switches and distribution substations (e.g. Pole type Substations, Kiosk Substations, Indoor and Ground type Substations) as there are often unrecorded earth wires buried in the vicinity;
  - If any undisclosed underground cables are located, Jemena Electricity Networks (Vic) Ltd. should be notified immediately on telephone 131 626;
  - All personnel must be properly briefed, particularly those associated with the use of earthmoving equipment, trenching, boring and pneumatic equipment;
  - All work must be undertaken in accordance with the Electricity Safety Act 1998 and the Electricity Safety Installation Regulations 2009.
3. Except to the extent that liability may not be capable of lawful exclusion, Jemena Electricity Networks (Vic) Ltd. and its servants and agents shall be under no liability whatsoever to any person for loss or damage (including indirect or consequential loss or damage) however caused (including, without limitation, breach of contract negligence and/or breach of statute) which may be suffered or incurred from or in connection with this information sheet or any Plans attached hereto. For the purposes of this condition, Jemena Electricity Networks (Vic) Ltd. has contracted on behalf of its servants and agents.
4. Except as expressly provided to the contrary in this information sheet or the attached Plans, all terms, conditions, warranties, undertakings or representations (whether expressed or implied) are excluded to the fullest extent permitted by law.
5. Any information provided is valid only for 28 days from the date of issue.

### NO GO ZONES

If any **overhead** or **underground** powerlines are near your proposed work, will your equipment intrude into a NO GO Zone?

If the answer is YES, or you are NOT SURE, then please phone 131 626 for No Go Zone matters.

Further information concerning No Go Zones may be obtained from:

[www.worksafe.vic.gov.au](http://www.worksafe.vic.gov.au)  
<http://www.esv.vic.gov.au>

Before work commences, you must follow the NO GO ZONE safety procedures



### **Protective Covers**

Our electrical cables usually have protective covers of;

1. Concrete or PVC cover slabs;
2. PVC, A.C. or galvanised iron pipe;
3. Concrete encased PVC pipe;
4. Thin Plastic marker tape; or
5. Wooden troughing;

Note: Some cables are known to be buried without protection.

To assist in the identification of an underground cable, some installations have marker tape installed above the cover slab or conduit protecting the cable. You must not rely on marker tape as a test for existence of underground cables.

### **Location of Cable(s)**

All reasonable care is taken to ensure that the location and level of cable(s) shown on our office drawing/s are correct at the time of installation, however, reference points may change and therefore proving of the cable(s) is essential when working in close proximity to them.

### **Excavating parallel to Cable(s)**

Generally there is no restriction to excavating parallel to our cable(s) to a depth not exceeding that of the cable. When proposed excavations are within 500mm of our cable(s), trial holes shall be hand dug at regular intervals to prove the actual locations of the cable(s).

If excavation is to exceed the depth of the cable(s) and it is likely that the protective covers or the bedding material around the cable(s) may be disturbed, or within 500mm, please phone 131 626 for No Go Zone matters

### **Excavating across Cable(s)**

It is essential that the location of cable(s) is proven by careful hand digging before using mechanical excavating machinery within 500mm of the cable(s).

A Minimum clearance of 300mm above from a cable shall be maintained.

In no case shall a cable protective cover be removed without approval.

If the width or depth of the excavation is such that the cable(s) will be exposed, our office shall be contacted to determine whether the cable(s) should be taken out of service, or whether they need to be protected or supported.

### **Heavy Machinery Operating over Cable(s)**

Where heavy "Crawler" or "Vibration" type machinery is operated over the top of cable(s), a minimum cover of 1000mm to the cable protective cover must be maintained whilst the machinery is in operation.

### **Boring**

Where it is required to bore across the line of the cable(s), the actual location of the cable(s) shall be first proven by hand digging.

A trench shall be dug one metre from the side of the cable(s) which the auger will approach, to ensure a minimum clearance of 150mm can be maintained.

### **Explosives**

The use of explosives within 3.0 metres of a cable(s) is not allowed.

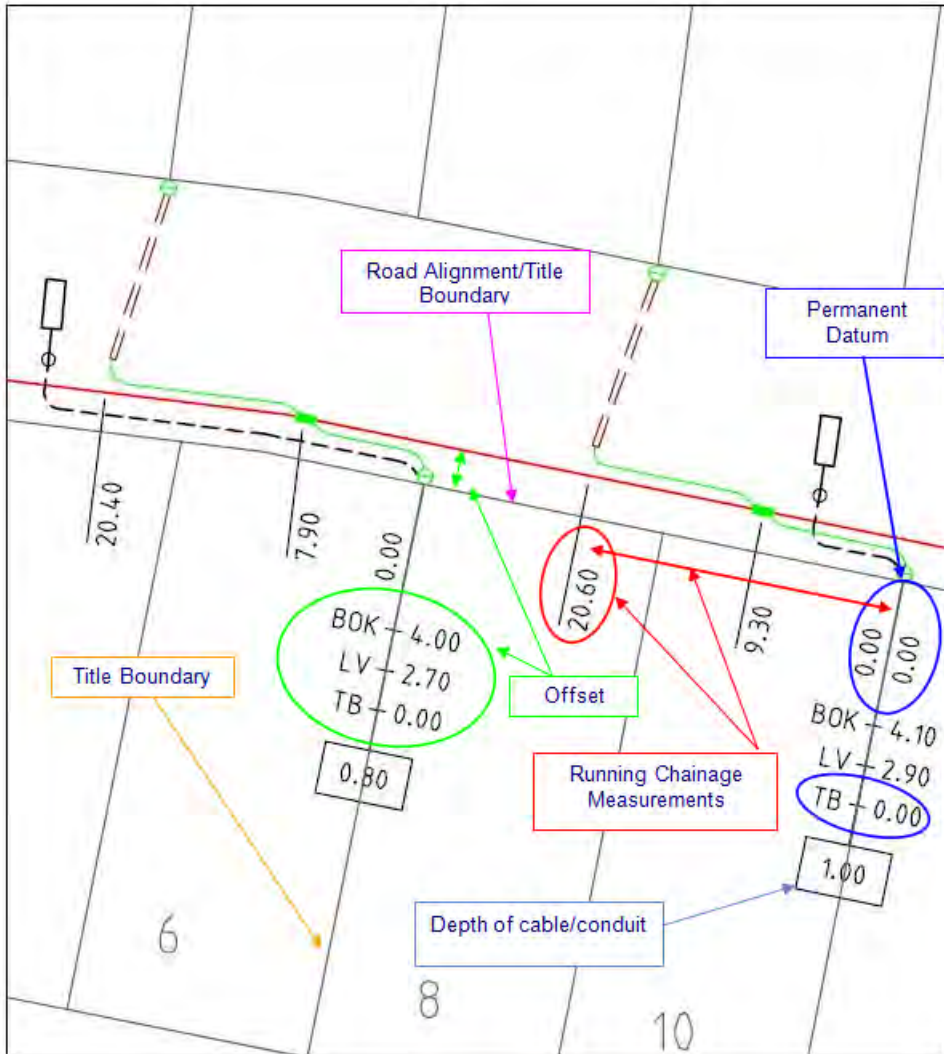
### **Regulations**

All work must be undertaken in accordance with the Electricity Safety Installation Regulations 2009.

### **Alteration of Levels**

If it is desired to increase or decrease ground levels above our cables, please contact our office before the project commences to seek our approval.

### How to read Jemena Electricity plans





**Legend**

- LV Cable
- HV Cable
- Subtransmission Cable
- Fibre Optic / Auxiliary Cable
- Conduit
- Asbestos Conduit
- DBYD Search Area
- Drawing Boundary
- Zone Sub. / Terminal Station
- Distribution Substation
- LV / Lighting Pole
- LV / HV Pole
- HV Pole
- LV / Subtrans. Pole
- LV / HV / Subtrans. Pole
- HV / Subtrans. Pole
- Subtrans. Pole



Issue Date: 21/10/2019  
 DBYD Seq. No: 91268112  
 DBYD Job No: 18423165  
 Scale: 1:3075  
 Overview

**WARNING:** This is a representation of Jemena Electricity Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the Date of Issue.



ABN 82 064 651 083

**Legend**

- Conduit
- Asbestos Conduit
- DBYD Search Area
- Connection
- Drawing Boundary
- Zone Sub. / Terminal Station
- Distribution Substation
- LV / Lighting Pole
- LV / HV Pole
- HV Pole
- LV / Subtrans. Pole
- LV / HV / Subtrans. Pole
- HV / Subtrans. Pole
- Subtrans. Pole

**Issue Date:** 21/10/2019  
**DBYD Seq. No:** 91268112  
**DBYD Job No:** 18423165  
**Tile No:** 1

**Scale:** 1:1000

**WARNING:** This is a representation of Jemena Electricity Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the Date of Issue.



**Legend**

- Conduit
- Asbestos Conduit
- DBYD Search Area
- Connection
- LV Cable
- HV Cable
- Subtransmission Cable
- Fibre Optic / Auxiliary Cable
- Drawing Boundary
- Zone Sub. / Terminal Station
- Distribution Substation
- LV / Lighting Pole
- LV / HV Pole
- HV Pole
- LV / Subtrans. Pole
- LV / HV / Subtrans. Pole
- HV / Subtrans. Pole
- Subtrans. Pole

**PARAMOUNT 35-65-DEMPSTER**

Issue Date: 21/10/2019  
 DBYD Seq. No: 91268112  
 DBYD Job No: 18423165  
 Tile No: 2

Scale: 1:1000

**Jemena**  
 ABN 82 064 651 083

**WARNING:** This is a representation of Jemena Electricity Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the Date of Issue.



DBYD Authority: Jemena Electricity Networks (Vic) DBYD Location: 99 Olympia Street, Tottenham, VIC 3012



ABN 82 064 651 083

**Legend**

- LV Cable
- HV Cable
- Subtransmission Cable
- Fibre Optic / Auxiliary Cable
- Conduit
- Asbestos Conduit
- DBYD Search Area
- Connection
- Drawing Boundary
- Zone Sub. / Terminal Station
- Distribution Substation
- LV / Lighting Pole
- LV / HV Pole
- HV Pole
- LV / Subtrans. Pole
- LV / HV / Subtrans. Pole
- HV / Subtrans. Pole
- Subtrans. Pole



**Issue Date:** 21/10/2019  
**DBYD Seq. No:** 91268112  
**DBYD Job No:** 18423165  
**Title No:** 3

**Scale:** 1:1000

**WARNING:** This is a representation of Jemena Electricity Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the Date of Issue.



ABN 82 064 651 083

**Legend**

LV Cable	Conduit	LV / Lighting Pole	LV / Subtrans. Pole
HV Cable	Asbestos Conduit	LV / HV Pole	LV / HV / Subtrans. Pole
Subtransmission Cable	DBYD Search Area	HV Pole	HV / Subtrans. Pole
Fibre Optic / Auxiliary Cable	Connection	Distribution Substation	Subtrans. Pole
	Drawing Boundary	Zone Sub. / Terminal Station	
	Asbestos Search Area	DBYD Search Area	

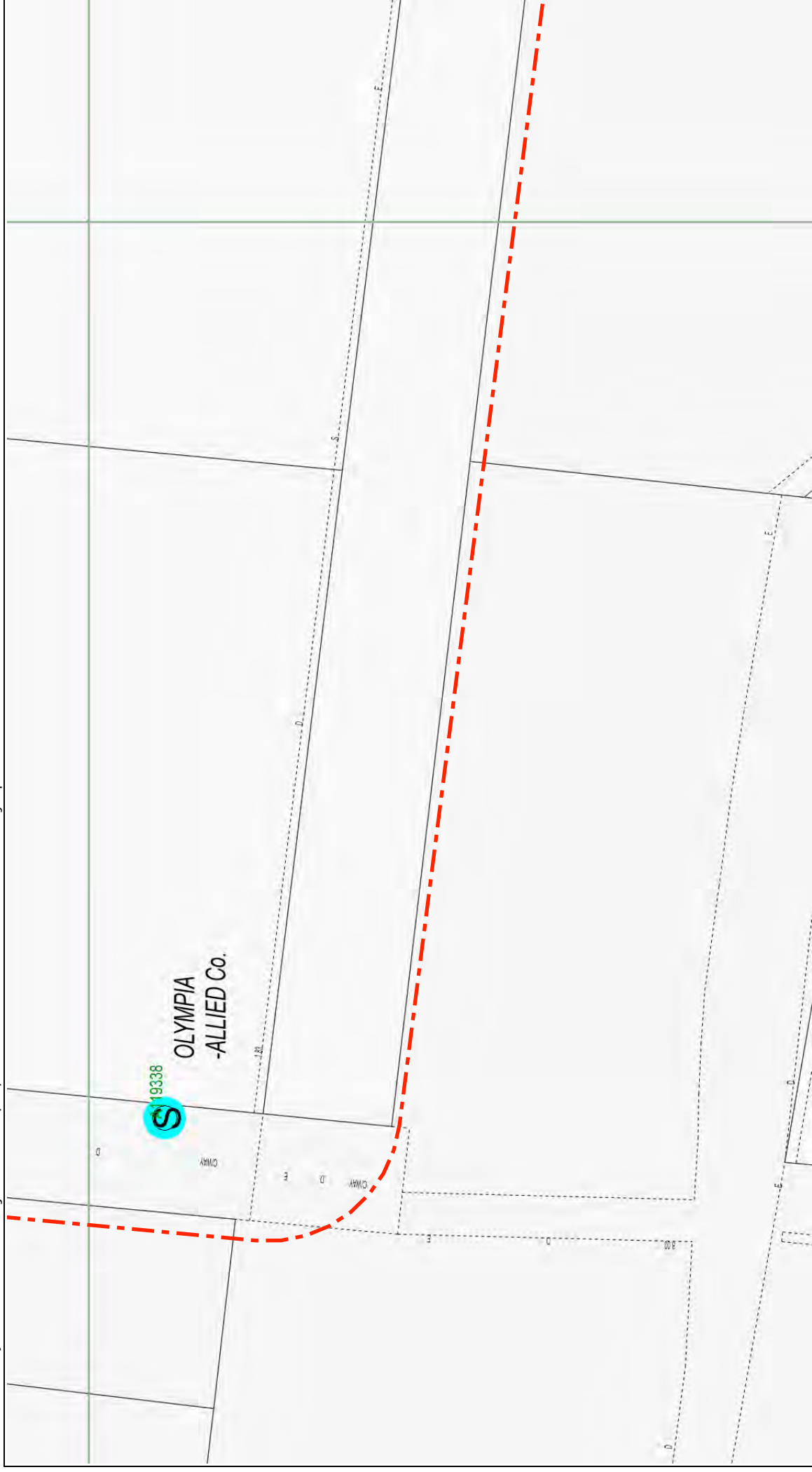


**Issue Date:** 21/10/2019  
**DBYD Seq. No:** 91268112  
**DBYD Job No:** 18423165  
**Tile No:** 4  
**Scale:** 1:1000

**WARNING:** This is a representation of Jemena Electricity Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the Date of Issue.



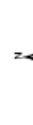
DBYD Authority: Jemena Electricity Networks (Vic) DBYD Location: 99 Olympia Street, Tottenham, VIC 3012




**Jemena**  
ABN 82 064 651 083

**Legend**

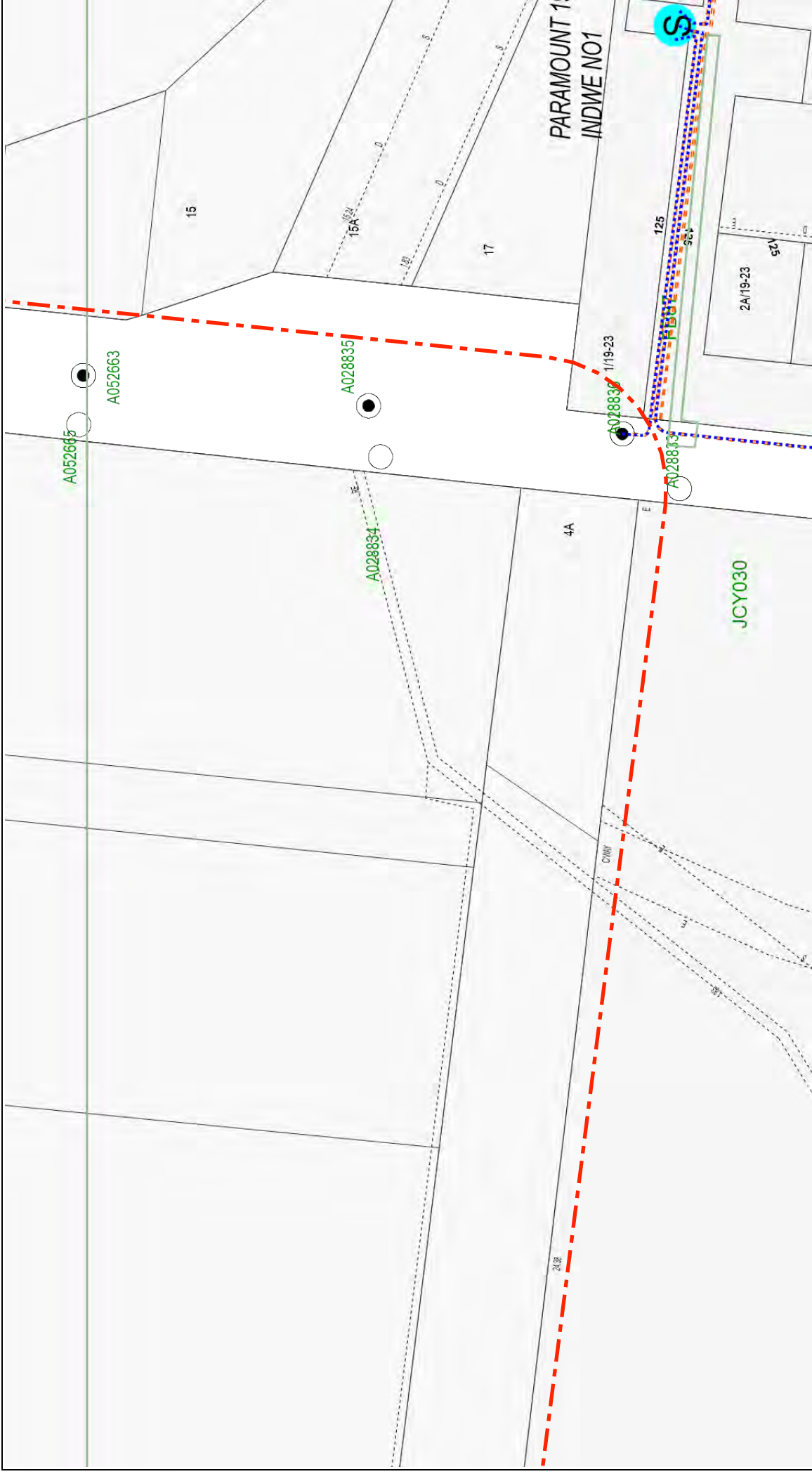
-  LV Cable
-  HV Cable
-  Subtransmission Cable
-  Fibre Optic / Auxiliary Cable
-  Conduit
-  Asbestos Conduit
-  DBYD Search Area
-  Connection
-  Drawing Boundary
-  Zone Sub. / Terminal Station
-  Distribution Substation
-  LV / Lighting Pole
-  LV / HV Pole
-  HV Pole
-  LV / Subtrans. Pole
-  LV / HV / Subtrans. Pole
-  HV / Subtrans. Pole
-  Subtrans. Pole



**Issue Date:** 21/10/2019  
**DBYD Seq. No:** 91268112  
**DBYD Job No:** 18423165  
**Title No:** 5

**Scale:** 1:1000

**WARNING:** This is a representation of Jemena Electricity Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the Date of Issue.



ABN 82 064 651 083

**Legend**

- - - - - LV Cable
- - - - - HV Cable
- - - - - Subtransmission Cable
- - - - - Fibre Optic / Auxiliary Cable
- - - - - Conduit
- - - - - Asbestos Conduit
- - - - - DBYD Search Area
- Connection
- Drawing Boundary
- Zone Sub. / Terminal Station
- Distribution Substation
- LV / Lighting Pole
- LV / HV Pole
- HV Pole
- LV / Subtrans. Pole
- LV / HV / Subtrans. Pole
- HV / Subtrans. Pole
- Subtrans. Pole
- S DBYD Search Area

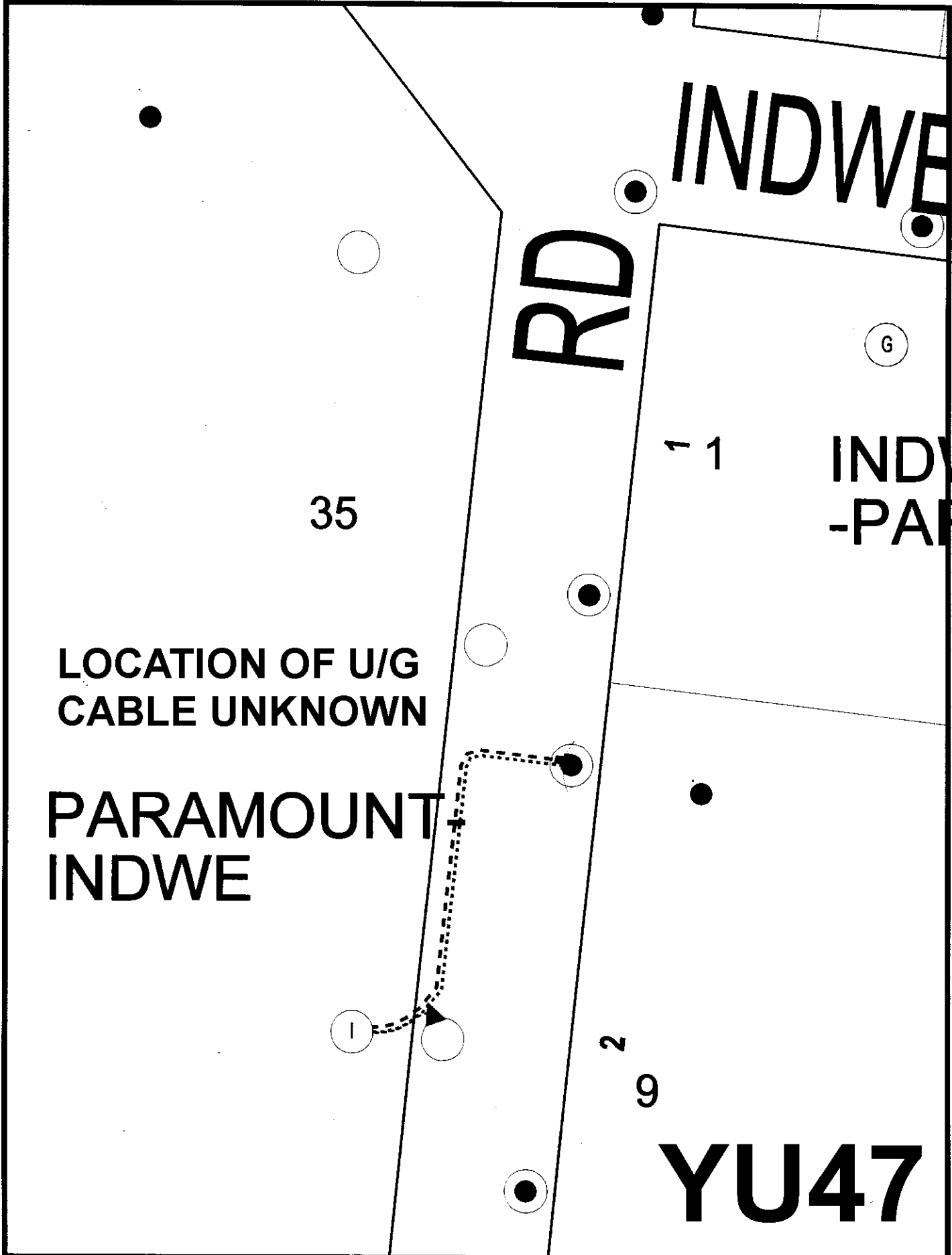


**Issue Date:** 21/10/2019  
**DBYD Seq. No:** 91268112  
**DBYD Job No:** 18423165  
**Title No:** 6  
**Scale:** 1:1000

**WARNING:** This is a representation of Jemena Electricity Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the Date of Issue.



HV & LV UNDERGROUND CABLES OPPOSITE PARAMOUNT RD (A)



35

INDWE

RD

INDW  
-PAR

LOCATION OF U/G  
CABLE UNKNOWN

PARAMOUNT  
INDWE

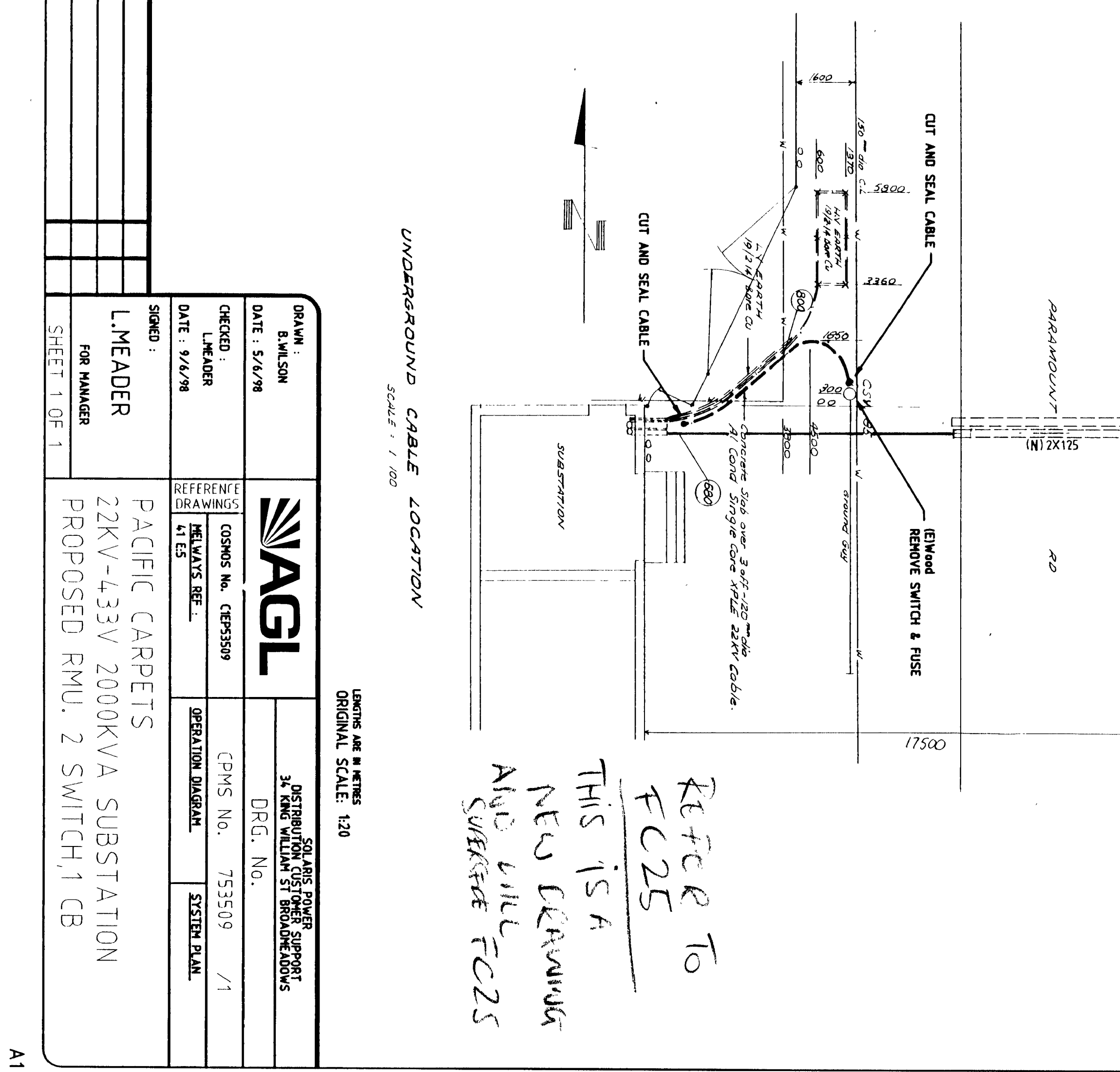
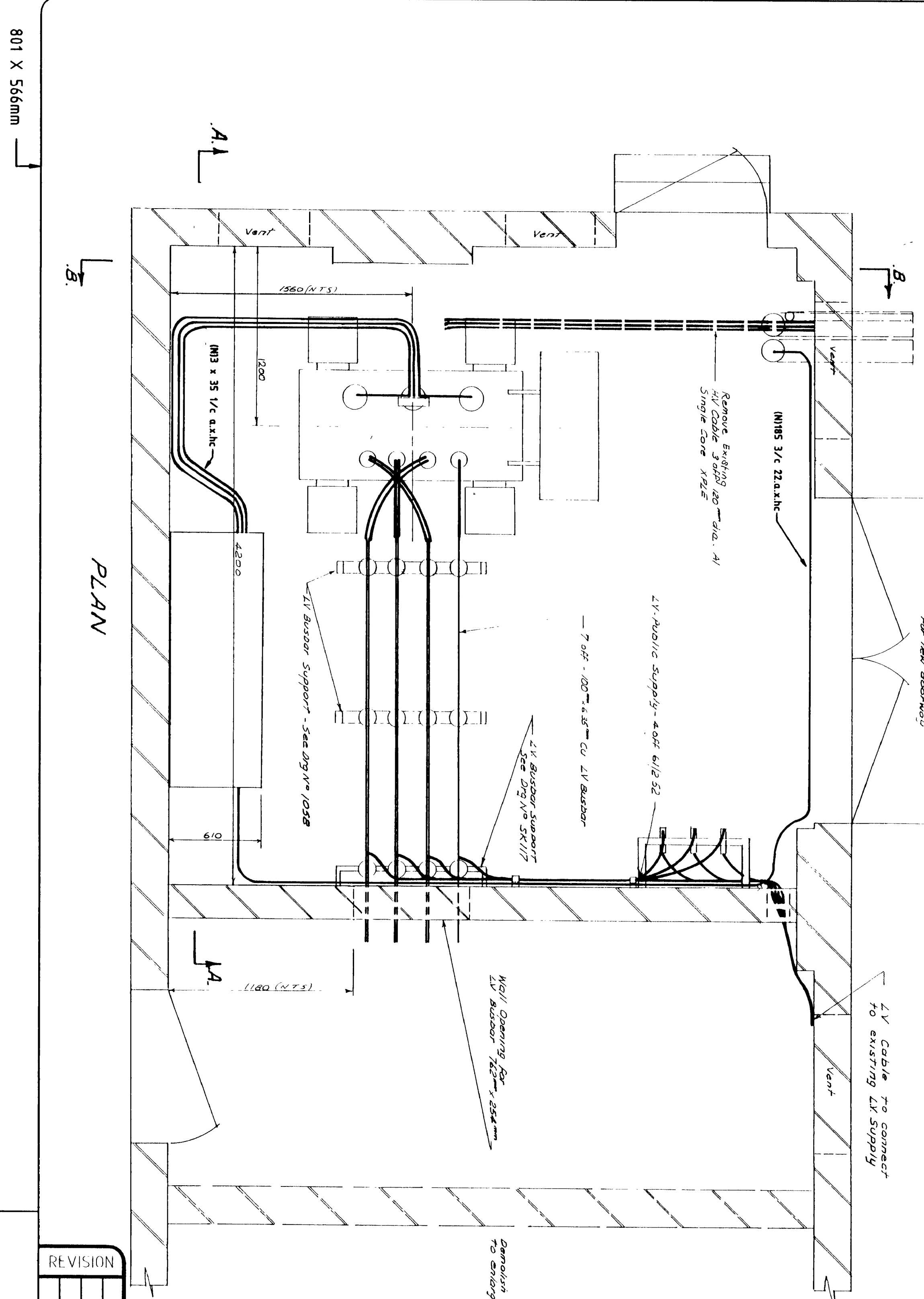
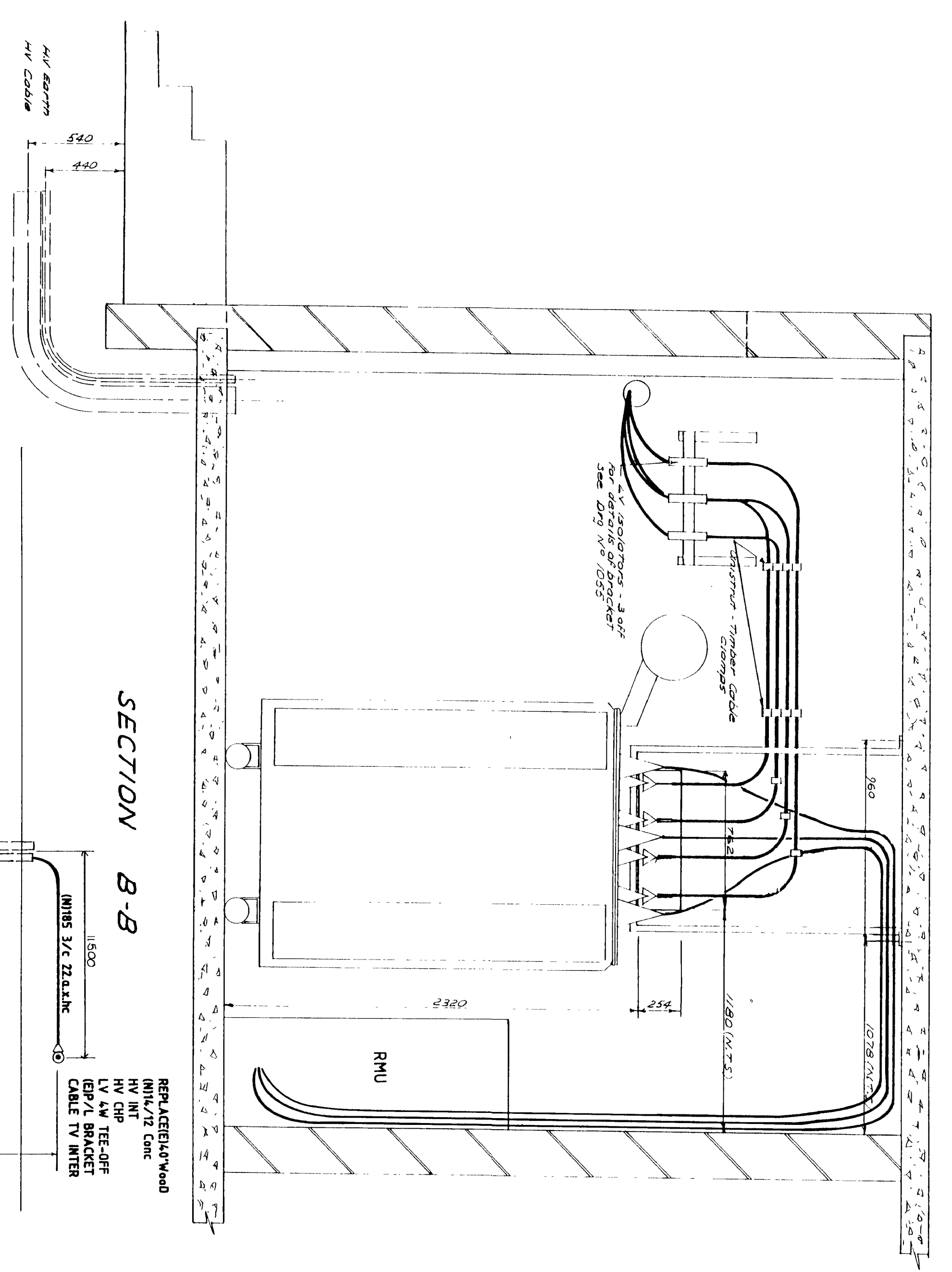
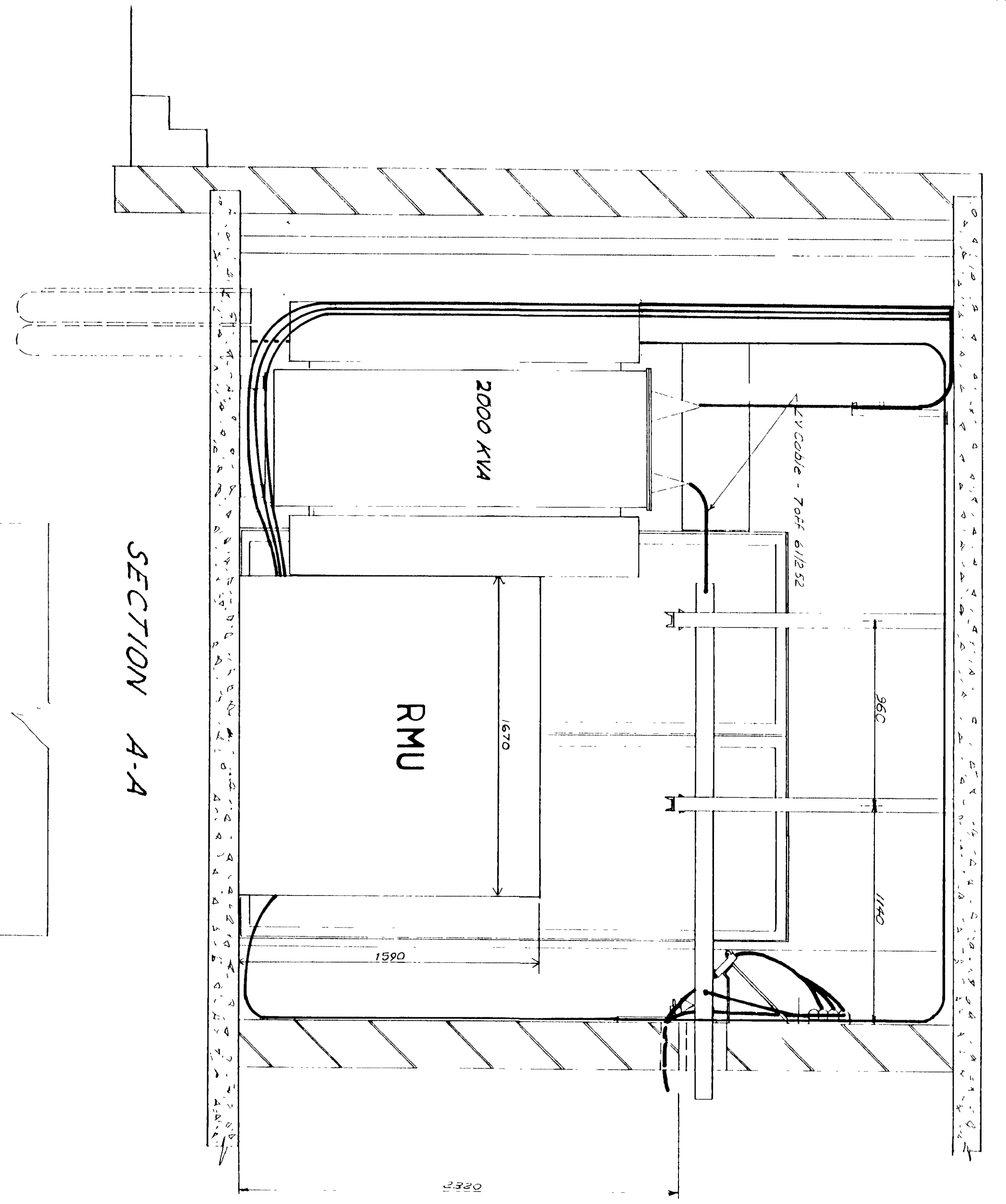
YU47

0 50 m



03/08/2001





REFER TO  
FC25  
THIS IS A  
NEW DRAWING  
AND WILL  
OVERRIDE FC25

REVISION	DATE	BY	DESCRIPTION

DRAWN: B. MILSON DATE: 5/1/78 CHECKED: L. MEADER DATE: 9/1/78 SIGNED: L. MEADER FOR MAKER SHEET 1 OF 1	SOLARIS POWER DISTRIBUTION CUSTOMER SUPPORT 34 KING WILLIAM ST BROOKLINE ADAMS CPMS No. 753509 DRG. No. /1 OPERATION DIAGRAM SYSTEM DIAGRAM
PACIFIC CARPETS 22KV-433V 2000KVA SUBSTATION PROPOSED RMU, 2 SWITCH, 1 CB	



AGL  
 DRAWN: SV  
 DATE: 20-04-01  
 CHECKED:  
 DATE:  
 SIGNED: J. DOWDLE  
 FOR MANAGER

MELWAY REF: 41 F:6  
 DRG. No. JCY030  
 REV B

LENGTHS ARE IN METRES  
 ORIGINAL SCALE: 1:500

UNDERGROUND CABLE PLAN

NO.	DATE	DESCRIPTION	BY	CHKD	APP'D
1	20-04-01	ADDED 60055/1	SV		
2	25/5/05	CHANGED COLOUR OF CONDUITS	JH	BW	

NO.	DATE	DESCRIPTION	BY	CHKD	APP'D
JCX031	JCY031	JCZ031			
JCX030	JCY030	JCZ030			
JCX029	JCY029	JCZ029			

AGL  
 AGILITY  
 ASSET PERFORMANCE  
 34 KING WILLIAM ST  
 BROMBEMeadOWS

**IMPORTANT - PLEASE NOTE**  
 ALL INFORMATION ON THIS PLAN IS FOR INFORMATION ONLY. THE LOCATION OF UNDERGROUND CABLES IS NOT TO BE TAKEN AS GUARANTEE. THE POSITION OF THE CABLES MUST FIRST BE CONFIRMED BY CAREFUL HAND EXAMINATION.

HOWEVER, THE INFORMATION CANNOT BE GUARANTEED FOR CORRECTNESS OR COMPLETENESS. INFORMATION ON THIS PLAN IS FOR INFORMATION ONLY. THE POSITION OF THE CABLES MUST FIRST BE CONFIRMED BY CAREFUL HAND EXAMINATION.

AGL - AutoCAD A1  
 800 X 574mm



**LEGEND**

SYMBOLS FOR CABLE TYPES: 15mm PVC, 20mm PVC, 25mm PVC, 30mm PVC, 35mm PVC, 40mm PVC, 45mm PVC, 50mm PVC, 55mm PVC, 60mm PVC, 65mm PVC, 70mm PVC, 75mm PVC, 80mm PVC, 85mm PVC, 90mm PVC, 95mm PVC, 100mm PVC, 105mm PVC, 110mm PVC, 115mm PVC, 120mm PVC, 125mm PVC, 130mm PVC, 135mm PVC, 140mm PVC, 145mm PVC, 150mm PVC, 155mm PVC, 160mm PVC, 165mm PVC, 170mm PVC, 175mm PVC, 180mm PVC, 185mm PVC, 190mm PVC, 195mm PVC, 200mm PVC, 205mm PVC, 210mm PVC, 215mm PVC, 220mm PVC, 225mm PVC, 230mm PVC, 235mm PVC, 240mm PVC, 245mm PVC, 250mm PVC, 255mm PVC, 260mm PVC, 265mm PVC, 270mm PVC, 275mm PVC, 280mm PVC, 285mm PVC, 290mm PVC, 295mm PVC, 300mm PVC, 305mm PVC, 310mm PVC, 315mm PVC, 320mm PVC, 325mm PVC, 330mm PVC, 335mm PVC, 340mm PVC, 345mm PVC, 350mm PVC, 355mm PVC, 360mm PVC, 365mm PVC, 370mm PVC, 375mm PVC, 380mm PVC, 385mm PVC, 390mm PVC, 395mm PVC, 400mm PVC, 405mm PVC, 410mm PVC, 415mm PVC, 420mm PVC, 425mm PVC, 430mm PVC, 435mm PVC, 440mm PVC, 445mm PVC, 450mm PVC, 455mm PVC, 460mm PVC, 465mm PVC, 470mm PVC, 475mm PVC, 480mm PVC, 485mm PVC, 490mm PVC, 495mm PVC, 500mm PVC, 505mm PVC, 510mm PVC, 515mm PVC, 520mm PVC, 525mm PVC, 530mm PVC, 535mm PVC, 540mm PVC, 545mm PVC, 550mm PVC, 555mm PVC, 560mm PVC, 565mm PVC, 570mm PVC, 575mm PVC, 580mm PVC, 585mm PVC, 590mm PVC, 595mm PVC, 600mm PVC, 605mm PVC, 610mm PVC, 615mm PVC, 620mm PVC, 625mm PVC, 630mm PVC, 635mm PVC, 640mm PVC, 645mm PVC, 650mm PVC, 655mm PVC, 660mm PVC, 665mm PVC, 670mm PVC, 675mm PVC, 680mm PVC, 685mm PVC, 690mm PVC, 695mm PVC, 700mm PVC, 705mm PVC, 710mm PVC, 715mm PVC, 720mm PVC, 725mm PVC, 730mm PVC, 735mm PVC, 740mm PVC, 745mm PVC, 750mm PVC, 755mm PVC, 760mm PVC, 765mm PVC, 770mm PVC, 775mm PVC, 780mm PVC, 785mm PVC, 790mm PVC, 795mm PVC, 800mm PVC, 805mm PVC, 810mm PVC, 815mm PVC, 820mm PVC, 825mm PVC, 830mm PVC, 835mm PVC, 840mm PVC, 845mm PVC, 850mm PVC, 855mm PVC, 860mm PVC, 865mm PVC, 870mm PVC, 875mm PVC, 880mm PVC, 885mm PVC, 890mm PVC, 895mm PVC, 900mm PVC, 905mm PVC, 910mm PVC, 915mm PVC, 920mm PVC, 925mm PVC, 930mm PVC, 935mm PVC, 940mm PVC, 945mm PVC, 950mm PVC, 955mm PVC, 960mm PVC, 965mm PVC, 970mm PVC, 975mm PVC, 980mm PVC, 985mm PVC, 990mm PVC, 995mm PVC, 1000mm PVC.

**IMPORTANT**

**USERS OF THIS PLAN PLEASE NOTE**

ALL INFORMATION ON THIS PLAN IS SUBJECT TO CHANGE WITHOUT NOTICE. THE INFORMATION IS PROVIDED AS A GUIDE ONLY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY KIND. THE INFORMATION IS PROVIDED AS IS AND WITHOUT LIABILITY. THE INFORMATION IS PROVIDED AS A GUIDE ONLY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY KIND. THE INFORMATION IS PROVIDED AS IS AND WITHOUT LIABILITY.

**REVISION**

JCX032	JCY032	JCZ032
JCX031	JCY031	JCZ031
JCX030	JCY030	JCZ030

**PARAMOUNT RD**

**INDWE**

**ALWAL**

REFER YU47

REFER FC25

REFER YV62

REFER AJ30

REFER AM37

5813750 Y

311800 X

5813500 Y

311400 X

5813750 Y

311800 X

5813500 Y

311400 X

AutoCAD A1

TSST-EN-0000X 00-0A

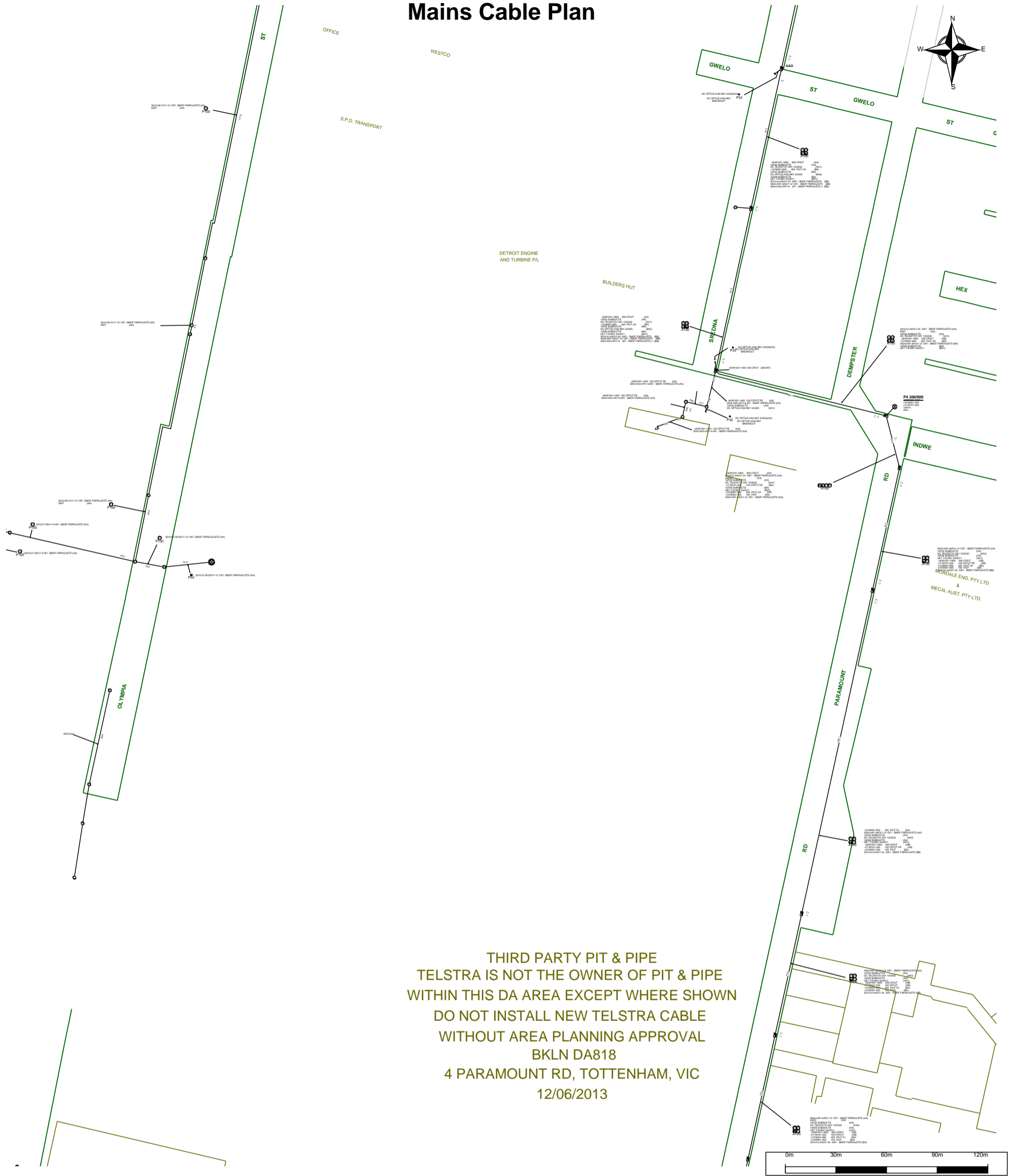
Page 1 of 1

Extracted from drawBRIDGE (DBYD Module) on Monday, 21 October 2019 14:16:41 Subject to attached terms and conditions (DBYD Seq: 91268112)





# Mains Cable Plan



THIRD PARTY PIT & PIPE  
 TELSTRA IS NOT THE OWNER OF PIT & PIPE  
 WITHIN THIS DA AREA EXCEPT WHERE SHOWN  
 DO NOT INSTALL NEW TELSTRA CABLE  
 WITHOUT AREA PLANNING APPROVAL  
 BKLN DA818  
 4 PARAMOUNT RD, TOTTENHAM, VIC  
 12/06/2013



For all Telstra DBYD plan enquiries -  
 email - Telstra.Plans@team.telstra.com  
 For urgent onsite contact only - ph 1800 653 935 (bus hrs)

TELSTRA CORPORATION LIMITED A.C.N. 051 775 556

Generated On 21/10/2019 14:22:06

Sequence Number: 91268113

**CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.**

WARNING - Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

It is your responsibility to locate Telstra's underground plant by careful hand pot-holing prior to any excavation in the vicinity and to exercise due care during that excavation.

Please read and understand the information supplied in the duty of care statement attached with the Telstra plans. TELSTRA WILL SEEK COMPENSATION FOR LOSS CAUSED BY DAMAGE TO ITS PLANT.

Telstra plans and information supplied are valid for 60 days from the date of issue. If this timeframe has elapsed, please reapply for plans.

## Dial Before You Dig Response Cover Letter

Maribyrnong City Council  
61 Napier Street (Cnr Hyde and Napier Streets)  
Footscray  
VIC 3011



21/10/2019

To: Ms Samantha Strauss  
Greencap  
level 1 677 High Street  
Kew East VIC  
3102

Dear Ms Samantha Strauss

The following is our response to your Dial Before You Dig Enquiry.

### **Affected Infrastructure: Drainage Assets Affected**

**Sequence No:** 91268111  
**DBYD Job No:** 18423165  
**Location:** 99 Olympia Street Tottenham VIC 3012

**Commencement Date:** 21/10/2019

If you require further information please contact the Works Engineer on 03 9032 4003 or Drainage Engineer on 03 9032 4001, or [dialdb@maribyrnong.vic.gov.au](mailto:dialdb@maribyrnong.vic.gov.au).

**Important Notice:** This document contains information that is intended for use only by the addressee. If you have received this document in error, you are advised that copying, distributing, disclosing or otherwise acting in reliance on this document is expressly prohibited. If you have received this document in error, please let us know by telephone and then return it to us by post. Your reasonable costs in complying with this request will be refunded.

**DISCLAIMER:** While every care is taken by Maribyrnong City Council to ensure the accuracy of this data, Maribyrnong City Council makes no representation or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaim all responsibility and all liability (including without limitation in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which may be incurred as a result of the data being inaccurate or incomplete in any way and for any reason. **Exact positions of any assets shown on this map report should be confirmed on site.**



While reasonable measures has been taken to ensure the accuracy of the information contained in this plan response, neither Maribyrnong City Council or PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.



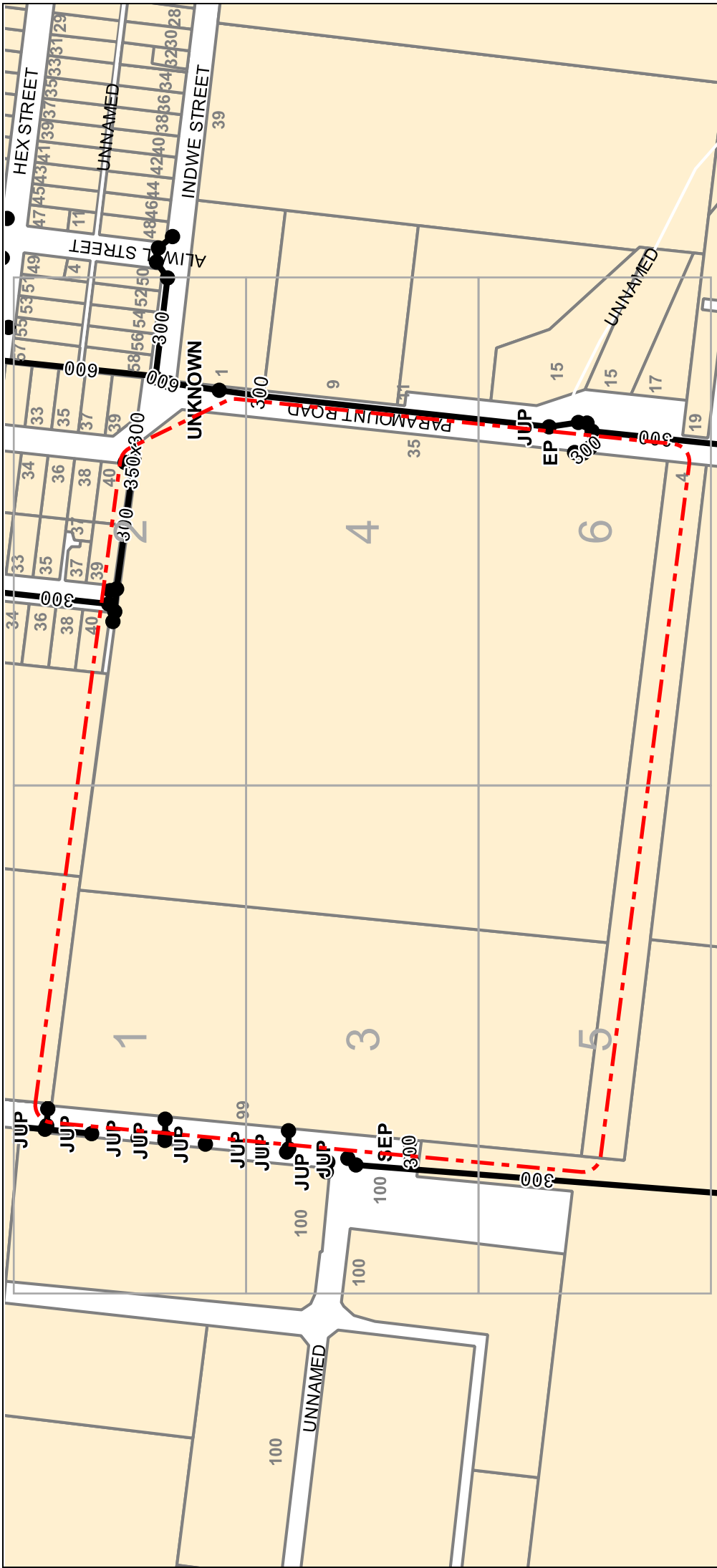
Maribyrnong  
CITY COUNCIL

### Drainage

Sequence No: 91268111

DBYD Job No: 18423165

Location: 99 Olympia Street, Tottenham, VIC 3012



Create Date: 21/10/2019

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Map Scale: 1:3075

**Asset Legend**

- Drainage Pits
- Drainage Pipe



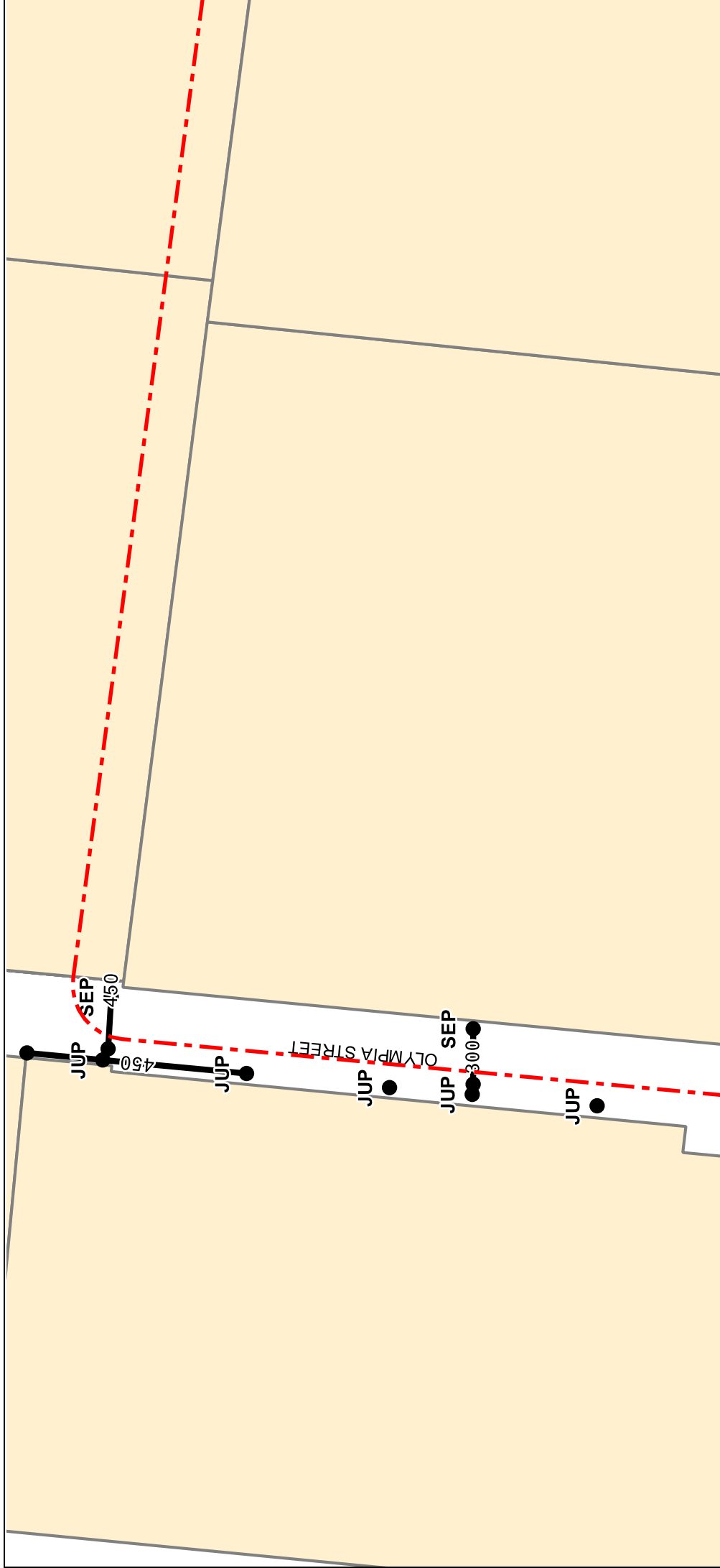
Maribyrnong  
CITY COUNCIL

### Drainage

Sequence No: 91268111

DBYD Job No: 18423165

Location: 99 Olympia Street, Tottenham, VIC 3012



Create Date: 21/10/2019

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Plans generated by PelicanCorp TicketDP Software [www.pelicancorp.com](http://www.pelicancorp.com)

Map Scale: 1:1000



**Asset Legend**

- Drainage Pits
- Drainage Pipe





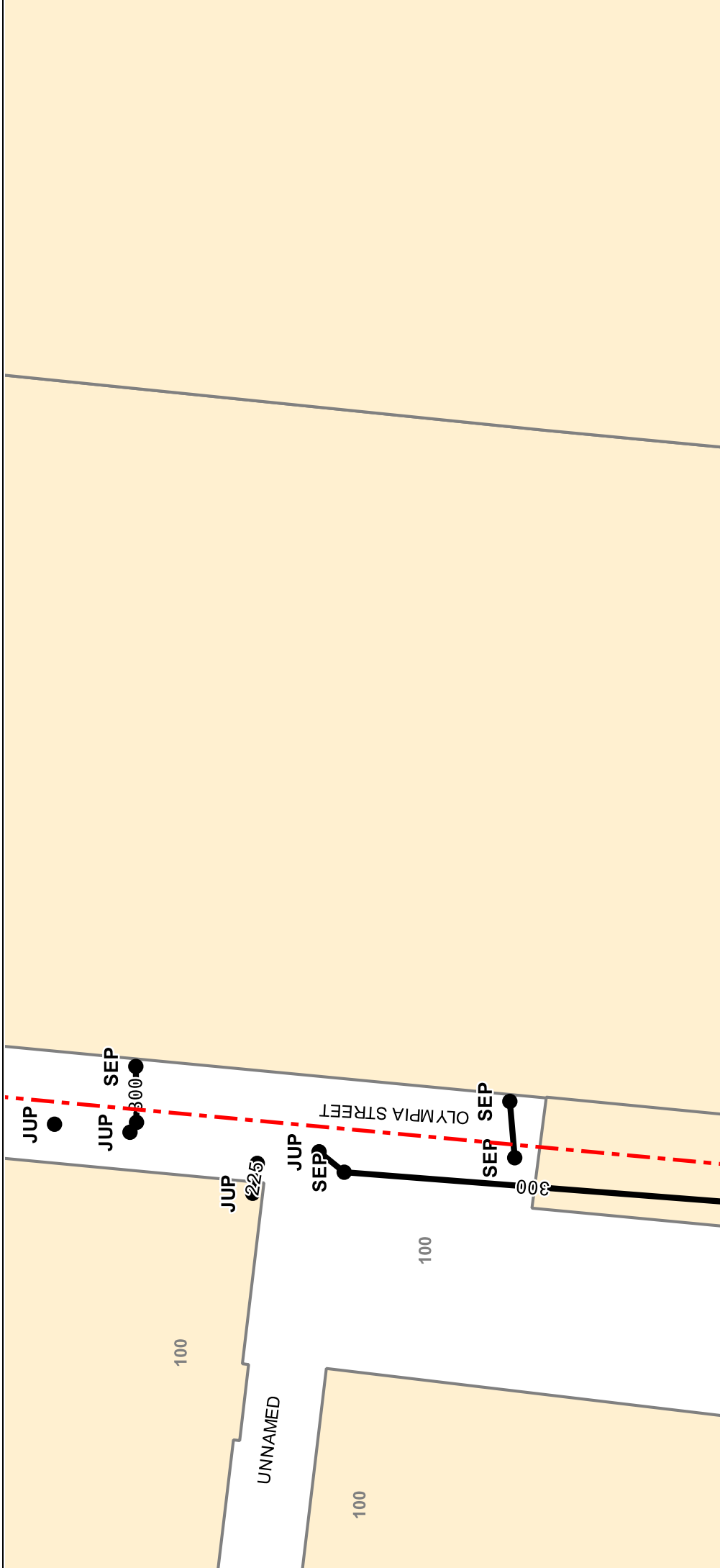
Maribyrnong  
CITY COUNCIL

### Drainage

Sequence No: 91268111

DBYD Job No: 18423165

Location: 99 Olympia Street, Tottenham, VIC 3012



Create Date: 21/10/2019

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Plans generated by PelicanCorp TicketDP Software [www.pelicancorp.com](http://www.pelicancorp.com)

Map Scale: 1:1000



**Asset Legend**

- Drainage Pits
- Drainage Pipe



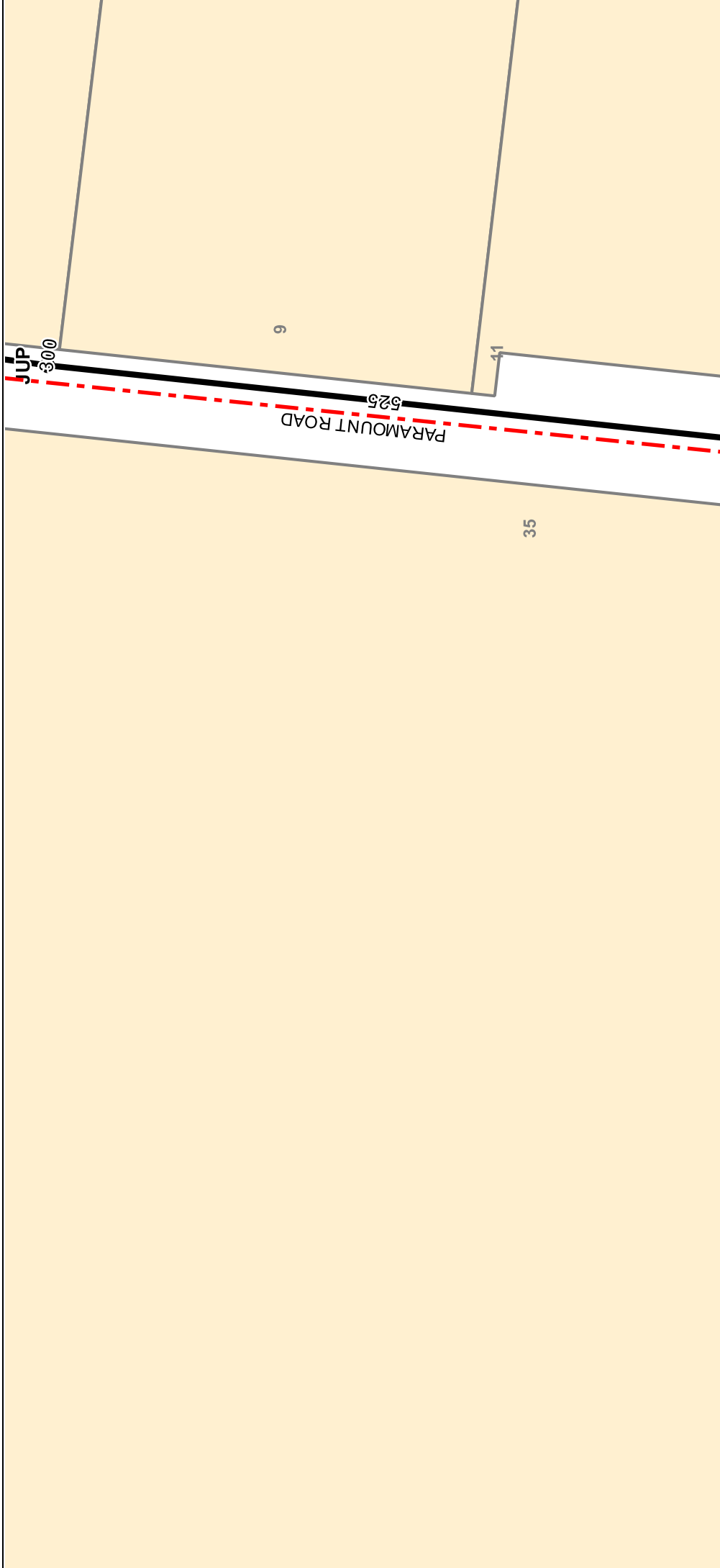
Maribyrnong  
CITY COUNCIL

### Drainage

Sequence No: 91268111

DBYD Job No: 18423165

Location: 99 Olympia Street, Tottenham, VIC 3012



Create Date: 21/10/2019

**DISCLAIMER:** While every care is taken by Maribyrnong City Council to ensure the accuracy of this data, Maribyrnong City Council makes no representation or warranties about its accuracy, reliability, completeness or suitability for any particular purpose and disclaims all responsibility and all liability (including without limitation in negligence) for all expenses, losses, damages (including indirect or consequential damage) and costs which may be incurred as a result of the data being inaccurate or incomplete in any way and for any reason. **Exact positions of any assets shown on this map report should be confirmed on site.**

Plans generated by PelicanCorp TicketDP Software [www.pelicancorp.com](http://www.pelicancorp.com)

Map Scale: 1:1000



**Asset Legend**

- Drainage Pits
- Drainage Pipe



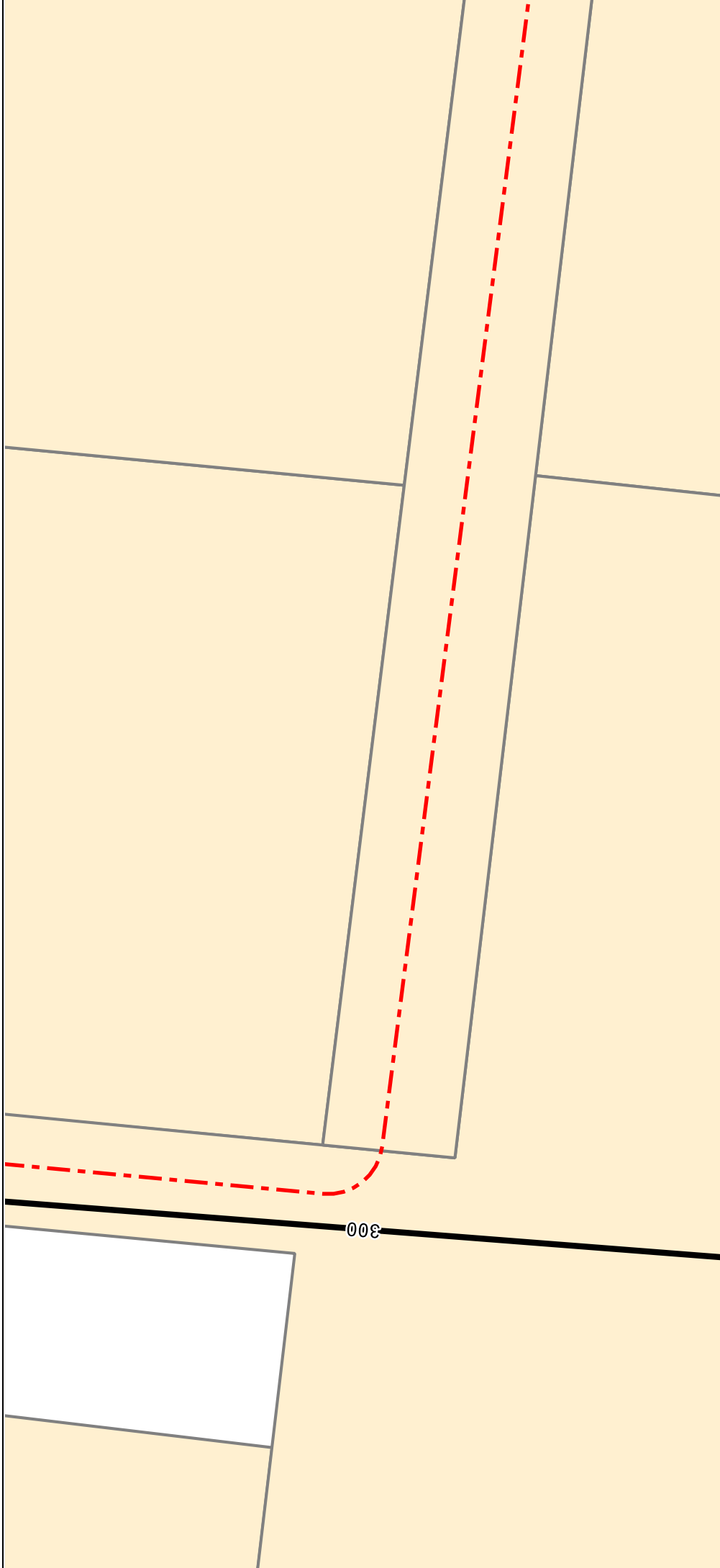
Maribyrnong  
CITY COUNCIL

### Drainage

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Plans generated by PelicanCorp TicketDP Software [www.pelicancorp.com](http://www.pelicancorp.com)

Map Scale: 1:1000



**Asset Legend**

- Drainage Pits
- Drainage Pipe



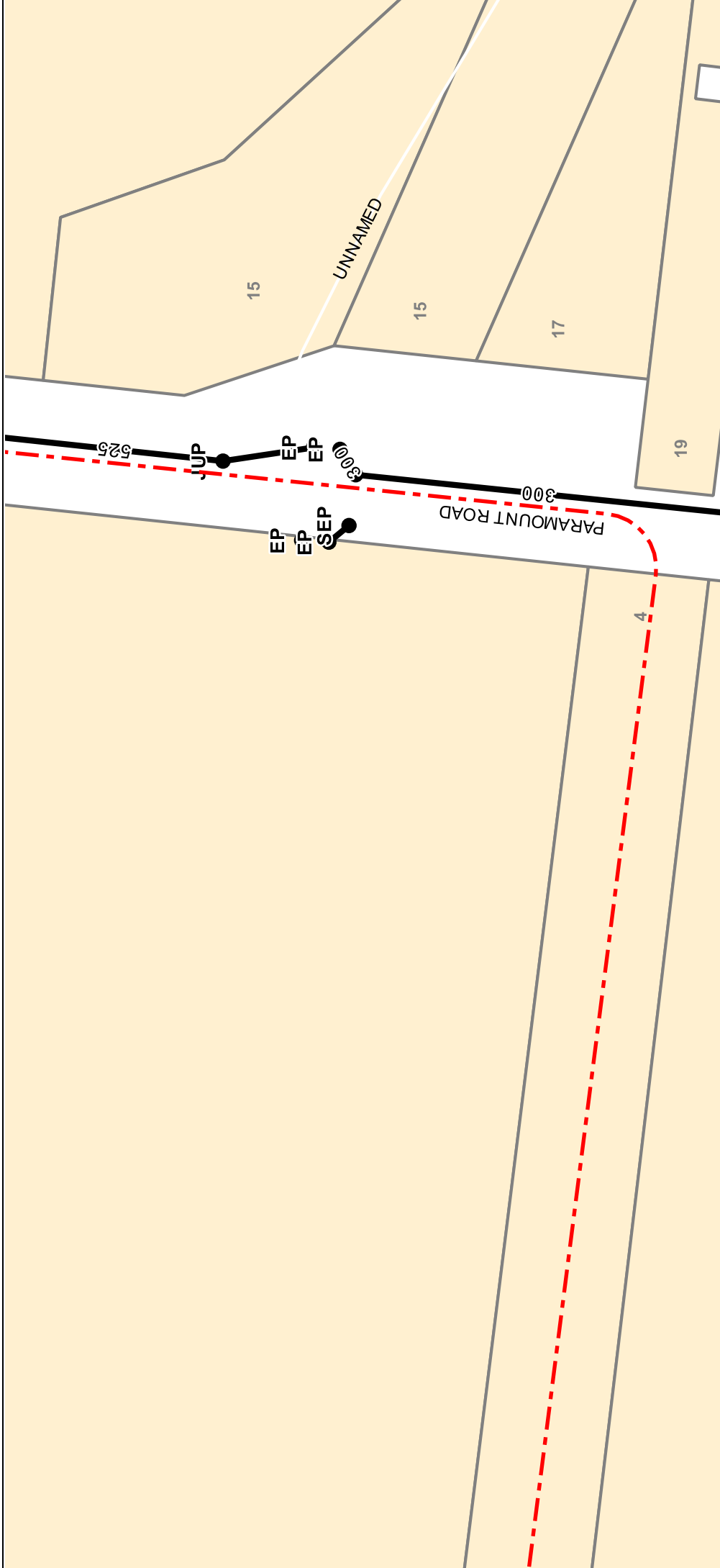
Maribyrnong  
CITY COUNCIL

### Drainage

Sequence No: 91268111

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Plans generated by PelicanCorp TicketDP Software [www.pelicancorp.com](http://www.pelicancorp.com)

Map Scale: 1:1000



**Asset Legend**

- Drainage Pits
- Drainage Pipe

## **DIAL BEFORE YOU DIG: COUNCIL DRAINAGE SYSTEM**

### **WARNING**

It is the responsibility of the applicant to verify the location and condition of stormwater drains prior to the commencement of any works. Council's drainage records are not completely accurate due to unreliable historic data from a range of sources. Therefore it is possible that the drain may not exist. If during your activity a drain is discovered that is not indicated on the attached map, you are to notify Council's Drainage Engineer on (03) 9032 4003 or Senior Engineer on (03) 9032 4001.

### **COMMENTS**

This plan does not display assets belonging to Melbourne Water. You are advised to check with Melbourne Water for the presence of their assets. Melbourne Water [www.melbournewater.com.au](http://www.melbournewater.com.au)

### **APPLICATION FOR CONSENT**

You must obtain consent from the Coordinating Road Authority (VicRoads or Council) before undertaking works within the road reserve, unless you are exempt under the Road Management (Works and Infrastructure) Regulations 2015. An application for Consent form must be completed and submitted to the Coordinating Road Authority along with payment of the prescribed fees prior to commencement of any work.

For Non-Utility Minor Works within local road reserves, please complete and submit an Application for Consent form. Council may require up to 10 working days to assess the application for the proposed activity and advise of their approval/refusal.

If you are undertaking works within arterial road reserves you will need consent from VicRoads. Further information is available from VicRoads. If you are unsure who the Coordinating Road Authority is, view the list of arterial roads under VicRoads Authority.

### **DRAINAGE INSPECTION**

Council requires an inspection of any connection to a drain or drainage system, easement or asset vested in or under the control of Council or works undertaken within an easement. Accordingly a Drainage Inspection must be arranged from Council before beginning any of the abovementioned activities.

### **ROAD OCCUPANCY & ASSET PROTECTION**


A Road Occupancy Permit and Asset Protection Permit must be obtained from Council before occupancy of any surface contained within the road reserve including footpath, nature strip, channel, kerbing and road pavement. Occupancies also include hoardings and the use of cranes. (Refer to Council's General Purposes Local Laws)

An approved traffic management plan will be required as part of the permit that may affect the flow of vehicles, bicycles and pedestrians. Also an insurance of \$10 million public liability cover must be accompanied with the permit application.

This information is valid for a period of 28 days from the issued date. For further details or to apply for any of the permit listed above, please contact Council's Customer Service on (03) 9688 0200 or visit Council's website [www.maribyrnong.vic.gov.au](http://www.maribyrnong.vic.gov.au)








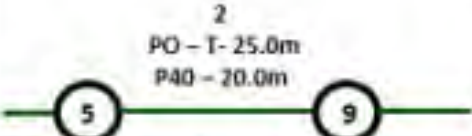
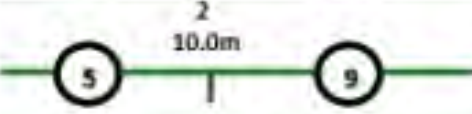




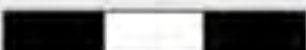
## Indicative Plans

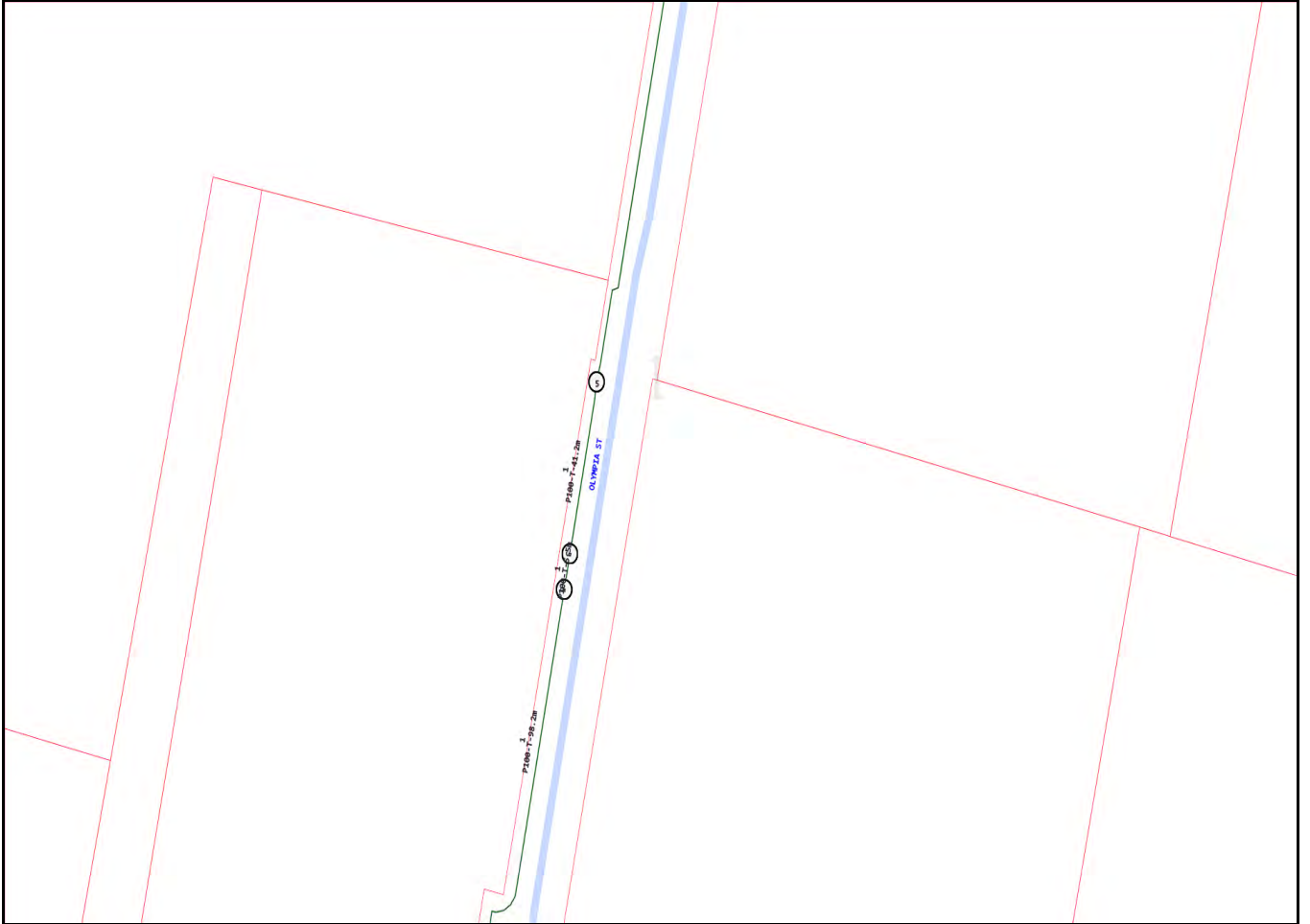
<b>Issue Date:</b>	21/10/2019	 The logo features a red circle with a black border. Inside the circle is a black silhouette of a person digging with a shovel. A red diagonal slash crosses the circle from the top-left to the bottom-right. To the right of the circle, the text 'DIAL BEFORE YOU DIG' is written in bold, black, uppercase letters. Below this text, the website address 'www.1100.com.au' is written in a smaller, black, lowercase font.
<b>Location:</b>	99 Olympia Street , Tottenham , VIC , 3012	

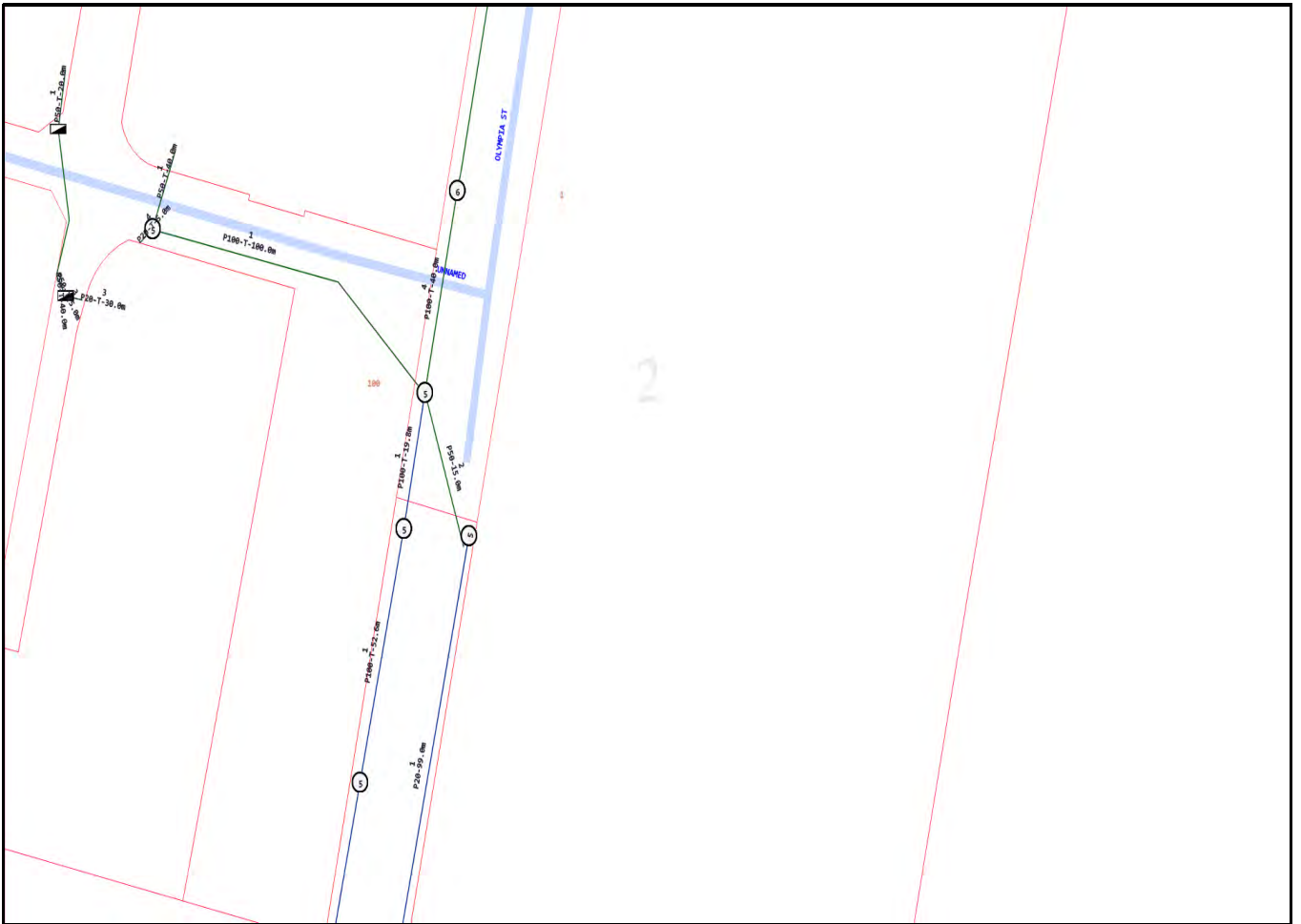
1	4
2	5
3	6

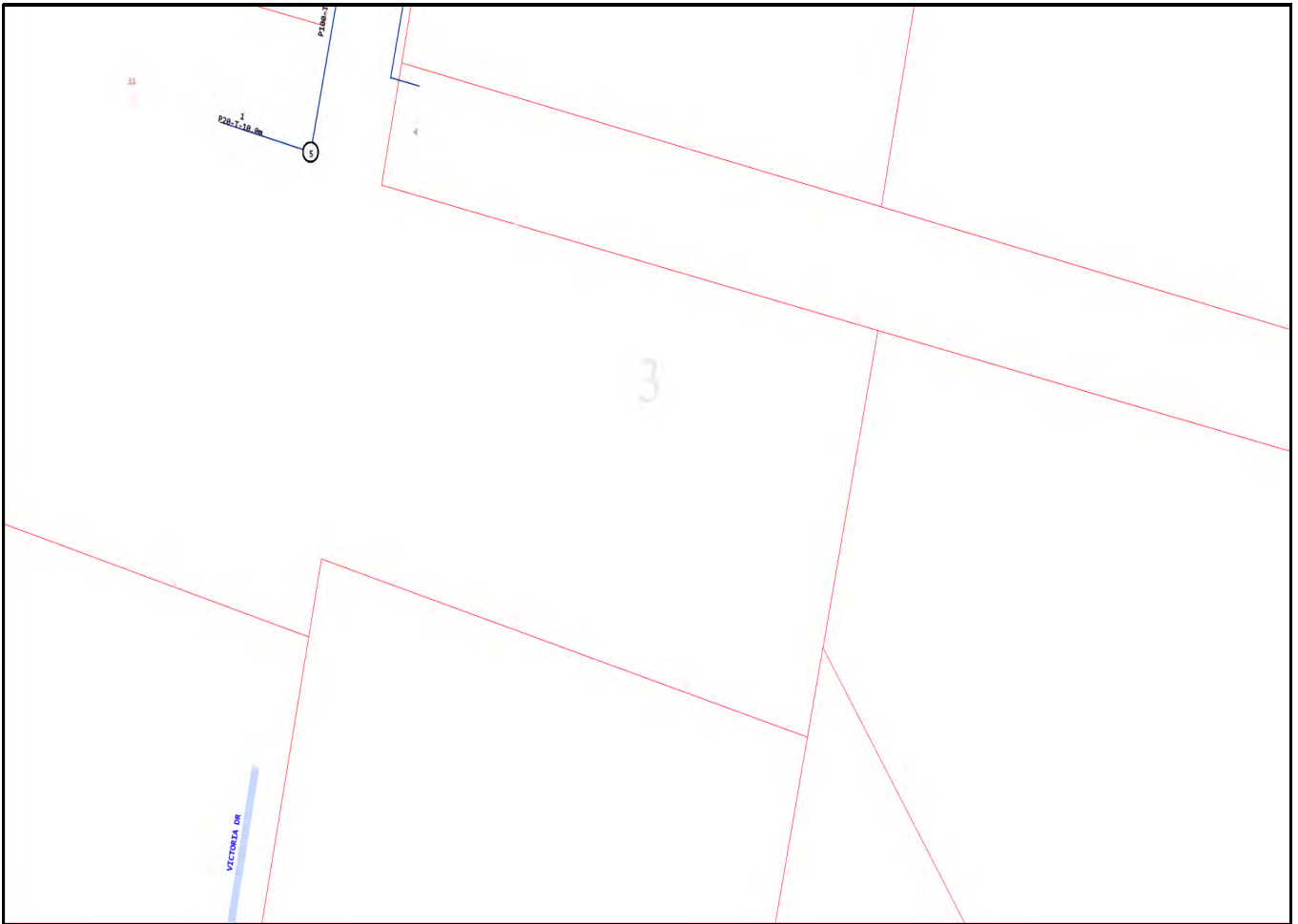


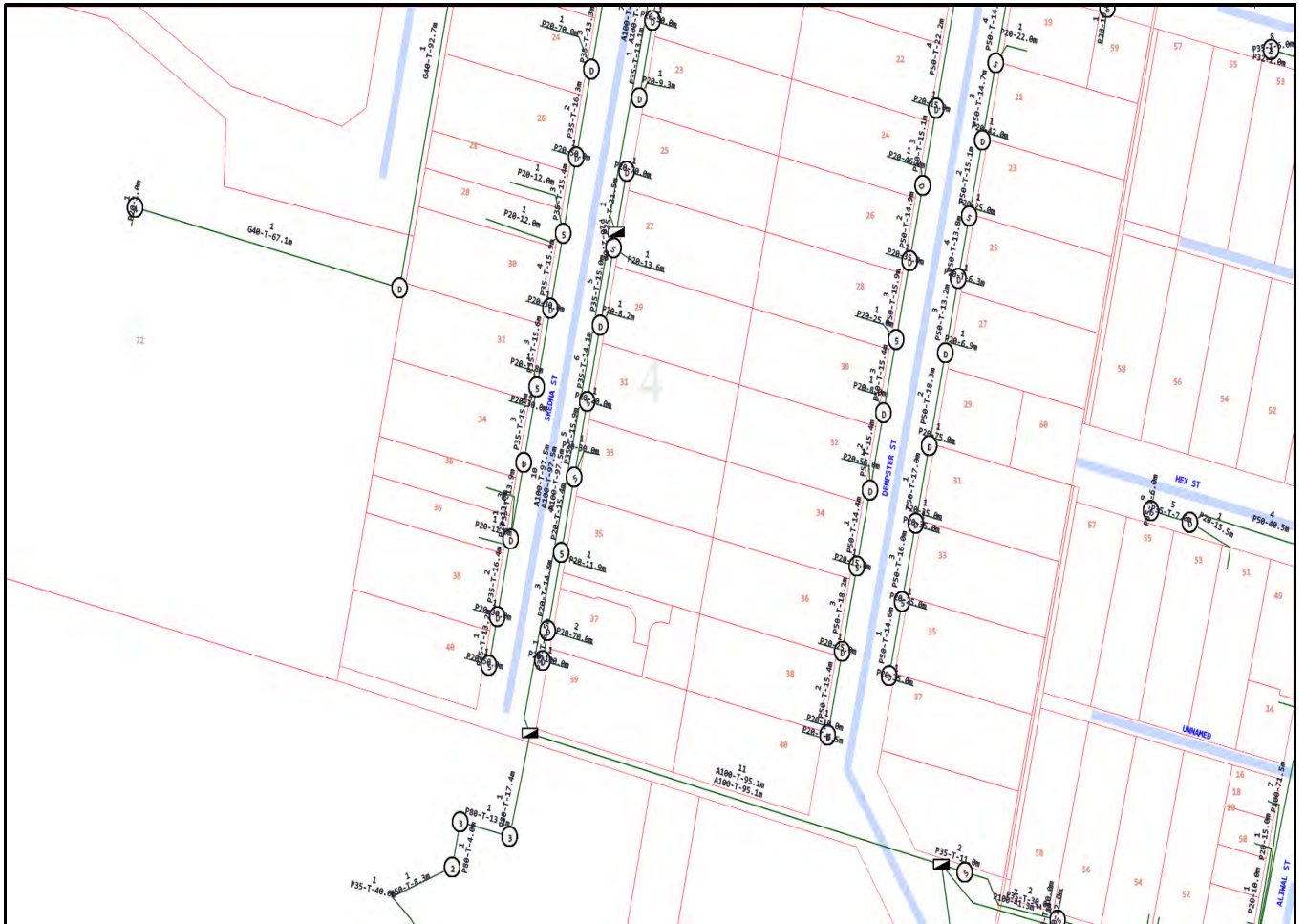
## LEGEND

	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Copper/RF/Fibre) cables.
	Trench containing only <b>DESIGNED/PLANNED</b> (Copper/RF/Fibre/Power) cables.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Power) cables.
	Road and the street name "Broadway ST"
<p data-bbox="363 1861 432 1895">Scale</p>	<p data-bbox="679 1816 1139 1850">0 20 40 60 Meters</p> <p data-bbox="1091 1861 1187 1895">1:2000</p> <p data-bbox="1023 1895 1257 1928">1 cm equals 20 m</p> 

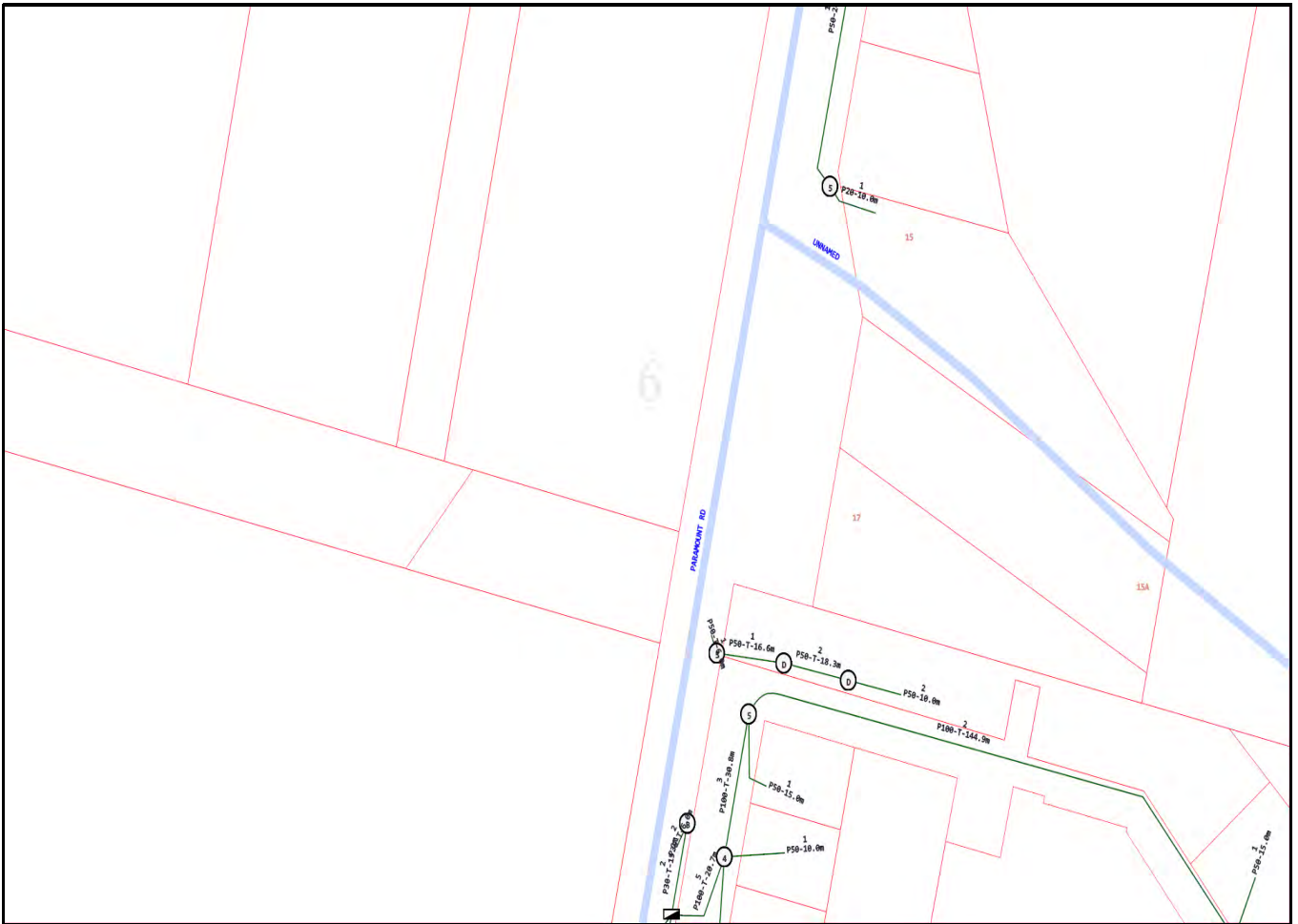














### Emergency Contacts

You must immediately report any damage to **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.



**To:** Ms Samantha Strauss  
**Phone:** 0439267120  
**Fax:** Not Supplied  
**Email:** samantha.strauss@greencap.com.au

<b>Dial before you dig Job #:</b>	18423165	
<b>Sequence #</b>	91268118	
<b>Issue Date:</b>	21/10/2019	
<b>Location:</b>	99 Olympia Street , Tottenham , VIC , 3012	

## Information

The area of interest requested by you contains one or more assets.

nbn Assets	Search Results
<b>Communications</b>	Asset identified
<b>Electricity</b>	No assets

In this notice **NBN Facilities** means *underground fibre optic, telecommunications and/or power facilities, including but not limited to cables, owned and controlled by nbn*

## Location of Underground Power Facilities

We thank you for your enquiry. In relation to your enquiry at the above address:

- **nbn's** records indicate that there **ARE nbn** Facilities in the vicinity of the location identified above ("Location").
- **nbn** indicative plan/s are attached with this notice ("Indicative Plans").
- The Indicative Plan/s show general depth and alignment information only and are not an exact, scale or accurate depiction of the location, depth and alignment of **nbn** Facilities shown on the Plan/s.
- In particular, the fact that the Indicative Plans show that a facility is installed in a straight line, or at uniform depth along its length cannot be relied upon as evidence that the facility is, in fact, installed in a straight line or at uniform depth.
- You should read the Indicative Plans in conjunction with this notice and in particular, the notes below.
- You should note that, at the present time, the Indicative Plans are likely to be more accurate in showing location of fibre optics and telecommunications cables than power cables. There may be a variation between the line depicted on the Indicative Plans and the location of any power cables. As such, consistent with the notes below, particular care must be taken by you to make your own enquiries and investigations to precisely locate any power cables and manage the risk arising from such cables accordingly.
- The information contained in the Indicative Plan/s is valid for 28 days from the date of issue set out



above. You are expected to make your own inquiries and perform your own investigations (including engaging appropriately qualified plant locators at your cost to locate **nbn** Facilities during any activities you carry out on site).

We thank you for your enquiry and appreciate your continued use of the Dial Before You Dig Service. If you are planning to excavate and require further information, please contact **nbn** on 1800 626 329. For any enquiries related to moving assets or Planning and Design activities, please visit the **nbn** [Commercial Works](#) website to complete the online application form.

#### Notes:

1. You are now aware that there are **nbn** Facilities in the vicinity of the above property that could be damaged as a result of activities carried out (or proposed to be carried out) by you in the vicinity of the Location.
2. You should have regard to section 474.6 and 474.7 of the *Criminal Code Act 1995* (CoA) which deals with the consequences of interfering or tampering with a telecommunications facility. Only persons authorised by **nbn** can interact with **nbn's** network facilities.
3. Any information provided is valid only for **28 days** from the date of issue set out above.

## Referral Conditions

The following are conditions on which **nbn** provides you with the Indicative Plans. By accepting the plans, you are agreeing to these conditions. These conditions are in addition, and not in replacement of, any duties and obligations you have under applicable law.

1. **nbn** does not accept any responsibility for any inaccuracies of its plans including the Indicative Plans. You are expected to make your own inquiries and perform your own investigations (including engaging appropriately qualified plant locators at your expense to locate **nbn** Facilities during any activities you carry out on site).
2. You acknowledge that **nbn** has specifically notified you above that the Indicative Plans are likely to be more accurate in showing location of fibre optics and telecommunications cables than power cables. There may be a variation between the line depicted on the Indicative Plans and the location of any power cables.
3. You should not assume that **nbn** Facilities follow straight lines or are installed at uniformed depths along their lengths, even if they are indicated on plans provided to you. Careful onsite investigations are essential to locate the exact position of cables.
4. In carrying out any works in the vicinity of **nbn** Facilities, you must maintain the following minimum clearances:
  - 300mm when laying assets inline, horizontally or vertically.
  - 500mm when operating vibrating equipment, for example: jackhammers or vibrating plates.
  - 1000mm when operating mechanical excavators.
  - Adherence to clearances as directed by other asset owner's instructions and take into account any uncertainty for power cables.
5. You are aware that there are inherent risks and dangers associated with carrying out work in the vicinity of underground facilities (such as **nbn** fibre optic, copper and coaxial cables, and power cable feed to **nbn** assets). Damage to underground electric cables may result in:
  - Injury from electric shock or severe burns, with the possibility of death.
  - Interruption of the electricity supply to wide areas of the city.
  - Damage to your excavating plant.
  - Responsibility for the cost of repairs.
6. You must take all reasonable precautions to avoid damaging **nbn** Facilities. These precautions may include but not limited to the following:
  - All excavation sites should be examined for underground cables by careful hand excavation. Cable cover slabs if present must not be disturbed. Hand excavation needs to be undertaken with extreme care to



minimise the likelihood of damage to the cable, for example: the blades of hand equipment should be aligned parallel to the line of the cable rather than digging across the cable.

- If any undisclosed underground cables are located, notify **nbn** immediately.
  - All personnel must be properly briefed, particularly those associated with the use of earth-moving equipment, trenching, boring and pneumatic equipment.
  - The safety of the public and other workers must be ensured.
  - All excavations must be undertaken in accordance with all relevant legislation and regulations.
7. You will be responsible for all damage to **nbn** Facilities that are connected whether directly, or indirectly with work you carry out (or work that is carried out for you or on your behalf) at the Location. This will include, without limitation, all losses expenses incurred by **nbn** as a result of any such damage.
8. You must immediately report any damage to **nbn**<sup>TM</sup> network that you are/become aware of. Notification may be by telephone - 1800 626 329.
9. Except to the extent that liability may not be capable of lawful exclusion, **nbn** and its servants and agents and the related bodies corporate of **nbn** and their servants and agents shall be under no liability whatsoever to any person for any loss or damage (including indirect or consequential loss or damage) however caused (including, without limitation, breach of contract negligence and/or breach of statute) which may be suffered or incurred from or in connection with this information sheet or any plans(including Indicative Plans) attached hereto. Except as expressly provided to the contrary in this information sheet or the attached plans(including Indicative Plans), all terms, conditions, warranties, undertakings or representations (whether expressed or implied) are excluded to the fullest extent permitted by law.

All works undertaken shall be in accordance with all relevant legislations, acts and regulations applicable to the particular state or territory of the Location. The following table lists all relevant documents that shall be considered and adhered to.

State/Territory	Documents
<b>National</b>	Work Health and Safety Act 2011
	Work Health and Safety Regulations 2011
	Safe Work Australia - Working in the Vicinity of Overhead and Underground Electric Lines (Draft)
	Occupational Health and Safety Act 1991
<b>NSW</b>	Electricity Supply Act 1995
	Work Cover NSW - Work Near Underground Assets Guide
	Work Cover NSW - Excavation Work: Code of Practice
<b>VIC</b>	Electricity Safety Act 1998
	Electricity Safety (Network Asset) Regulations 1999
<b>QLD</b>	Electrical Safety Act 2002
	Code of Practice for Working Near Exposed Live Parts
<b>SA</b>	Electricity Act 1996
<b>TAS</b>	Tasmanian Electricity Supply Industry Act 1995
<b>WA</b>	Electricity Act 1945
	Electricity Regulations 1947
<b>NT</b>	Electricity Reform Act 2005
	Electricity Reform (Safety and Technical) Regulations 2005
<b>ACT</b>	Electricity Act 1971

Thank You,

**Network Operations Centre - Assurance**



Date: 21/10/2019

This document is provided for information purposes only. This document is subject to the information classification set out on this page. If no information classification has been included, this document must be treated as UNCLASSIFIED, SENSITIVE and must not be disclosed other than with the consent of nbn co. The recipient (including third parties) must make and rely on their own inquiries as to the currency, accuracy and completeness of the information contained herein and must not use this document other than with the consent of nbn co.

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## **Preliminary Environmental Contamination and Gas Assessment**

### **BMF Construction**

**35-65 Paramount Road and 99 Olympia Street, Tottenham, Victoria**

## **Appendix J: Priority Sites Register**

# PRIORITY SITES REGISTER

Information as at 30 September 2019

**The Priority Sites Register is updated monthly and the information on it may not be accurate, current or complete and may be subject to change without notice.**

EPA has a key responsibility in protecting beneficial uses of land. Many of these uses are regulated or controlled through a range of measures to prevent contamination of land and groundwater. Land contaminated by former waste disposal, industrial and similar activities is frequently discovered during changes to land use - for example, from industrial to residential use. In most cases these can be managed at the time that the change of land use occurs. Some sites however, present a potential risk to human health or to the environment and must be dealt with as a priority. Such sites are typically subject to clean-up and/or management under EPA directions.

## WHAT ARE PRIORITY SITES?

Priority Sites are sites for which EPA has issued a Clean Up Notice pursuant to section 62A, or a Pollution Abatement Notice pursuant to section 31A or 31B (relevant to land and/or groundwater) of the *Environment Protection Act 1970*. Typically these are sites where pollution of land and/or groundwater presents a potential risk to human health or to the environment. The condition of these sites is not compatible with the current or approved use of the site without active management to reduce the risk to human health and the environment. Such management can include clean up, monitoring and/or institutional controls.

The Priority Sites Register does not list sites managed by voluntary agreements or sites subject to management by planning controls (e.g. sites managed in accordance with a section 173 agreement under the *Planning and Environment Act 1987*). Land purchasers should be aware of these limitations and make their own enquiries. A site is listed on the Priority Sites Register when EPA issues a Clean Up Notice or a Pollution Abatement Notice (relevant to land and/or groundwater). A notice is a means by which EPA formalises requirements to manage pollution. Sites are removed from the Priority Sites Register once all conditions of a Notice have been complied with. This is formalised through a Notice of Revocation pursuant to section 60B of the Act.

## DISCLAIMER

Users of this site accept all risks and responsibilities for losses, damages, costs and other consequences resulting directly or indirectly from use of this site and information from it.

To the maximum permitted by law, the EPA excludes all liability to any person directly or indirectly from using this site and information from it.

## FURTHER INFORMATION

Additional information is available from:

EPA Information Centre  
200 Victoria Street  
Carlton VIC 3053  
1300 EPA VIC (1300 372 842)  
[www.epa.vic.gov.au](http://www.epa.vic.gov.au)

Municipality	Suburb	Address	Issue	Notice Number
Ararat Rural City Council	ARARAT	26 Grano ST	Former Industrial Site. Requires assessment and/or clean up.	0090001739
Ballarat City Council	BALLARAT	1003 Humffray ST	Former Industrial Site. Requires assessment and/or clean up.	0090001857
Ballarat City Council	BALLARAT	Volume 6747 Folio 250	Current Industrial Site. Requires assessment and/or clean up.	0090001913
Ballarat City Council	Black Hill	Crown Allotment 13A Section 35 Township of Ballarat East	Former Landfill. Requires ongoing management.	0090009627
Ballarat City Council	BUNKERS HILL	856 Greenhalghs RD	Current Industrial Site. Requires ongoing management.	0090004647
Ballarat City Council	MOUNT CLEAR	3 WHITEHORSE RD	Former Landfill. Requires ongoing management.	0090003912
Ballarat City Council	MOUNT CLEAR	Whitehorse RD	Former Landfill. Requires assessment and/or clean up.	0090004207
Ballarat City Council	Sebastopol	Crown Allotment A Section 9	Gun, pistol or rifle range. Requires assessment and/or clean up.	0090010221
Bass Coast Shire Council	GLEN FORBES	1685 BASS HWY	Current landfill. Requires assessment and/or clean up.	0090009939
Bass Coast Shire Council	WONTHAGGI	C/a 15 Section 58 Cameron St	Former Landfill. Requires ongoing management.	0090006816
Baw Baw Shire Council	ELLINBANK	196 PETERS RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090010472

# PRIORITY SITES REGISTER

Information as at 30 September 2019

Municipality	Suburb	Address	Issue	Notice Number
Baw Baw Shire Council	JINDIVICK	15 BEATTIE RD	Illegal dumping. Requires assessment and/or clean up.	0090008457
Baw Baw Shire Council	TRAFALGAR SOUTH	200 GILES RD	Former Landfill. Requires ongoing management.	0090007302
Bayside City Council	Brighton	(Part) Lot 2/TP963646N (As per Section 5, Figure 1.0	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090010012
Bayside City Council	BRIGHTON	322 NEW ST	Former Service Station. Requires assessment and/or clean up.	0090008943
Bayside City Council	BRIGHTON	326 NEW ST	Former Industrial Site. Requires assessment and/or clean up.	0090008944
Bayside City Council	Cheltenham	Lot 3, PS802507T 322-328 Bay Road	Former Industrial Site. Requires assessment and/or clean up.	0090010027
Bayside City Council	CHELTENHAM	Lot 2, PS802507T 322-328 Bay Road	Current Industrial Site. Requires ongoing management.	0090008422
Bayside City Council	CHELTENHAM	322 - 328 BAY RD	Former Industrial Site. Requires assessment and/or clean up.	0090010025
Bayside City Council	CHELTENHAM	Lot 2, PS802507T 322-328 Bay Road	Former Industrial Site. Requires assessment and/or clean up.	0090010026
Bayside City Council	CHELTENHAM	322 - 328 BAY RD	Former Industrial Site. Requires assessment and/or clean up.	0090010028
Bayside City Council	Sandringham	Part Lot 1/TP125095-excludes Scout Hall Lot 2/LP62334	Former Industrial Site. Requires ongoing management.	0090007233
Brimbank City Council	Albion	SUNSHINE ENERGY PARK 570A Ballarat Road And	Former Landfill. Requires ongoing management.	0090007761
Brimbank City Council	ALBION	Carrington Drive Reserve 137A Denton Avenue ST ALBANS	Former Landfill. Requires ongoing management.	0090005541
Brimbank City Council	ARDEER	22 - 24 REID ST	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090007084
Brimbank City Council	ARDEER	14A & 14-18 REID STREET	Current Industrial Site. Requires assessment and/or clean up.	0090008190
Brimbank City Council	BROOKLYN	594 GEELONG RD	Former Landfill. Requires ongoing management.	0090003478
Brimbank City Council	BROOKLYN	44 - 60 Mcdonald RD	Former Landfill. Requires ongoing management.	0090003589
Brimbank City Council	BROOKLYN	44 - 60 Mcdonald RD	Former Landfill. Requires ongoing management.	0090003591
Brimbank City Council	BROOKLYN	174 OLD GEELONG RD	Former Landfill. Requires ongoing management.	0090006102
Brimbank City Council	BROOKLYN	52 - 60 MARKET RD	Former Landfill. Requires ongoing management.	0090007782
Brimbank City Council	Cairnlea	Lot C of Draft Plan of Subdivision PS 801014Y	Contaminated soil is retained and managed onsite. Requires ongoing management.	0090005971
Brimbank City Council	DEER PARK	765 BALLARAT RD	Former Industrial Site. Requires assessment and/or clean up.	0090001886
Brimbank City Council	DEER PARK	753 Tilburn RD	Contaminated soil is retained and managed onsite. Requires assessment and/or clean up.	0090009143
Brimbank City Council	KEILOR DOWNS	Green Gully RD	Former Landfill. Requires ongoing management.	0090005738
Brimbank City Council	SUNSHINE	16 - 20 THIRD AV	Current Industrial Site. Requires assessment and/or clean up.	0090003227
Brimbank City Council	SUNSHINE NORTH	49 AUBURN AV	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090007459
Brimbank City Council	SUNSHINE NORTH	49 AUBURN AV	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090007621
Brimbank City Council	SUNSHINE NORTH	26 - 30 BALDWIN AVENUE 74 - 82 DAVIES AVENUE	Current Industrial Site. Requires assessment and/or clean up.	0090010168
Brimbank City Council	SYDENHAM	362 SYDENHAM RD	Former Landfill. Requires assessment and/or clean up.	0090000921
Brimbank City Council	SYDENHAM	362 SYDENHAM RD	Former Landfill. Requires ongoing management.	0090003753
Buloke Shire Council	BIRCHIP	CA 53B-D Parish of Wirmbirchip, SUNRAYSIA HWY	Former Landfill. Requires ongoing management.	0090009001
Buloke Shire Council	CHARLTON	21 DAVIES ST	Current petroleum storage site. Requires assessment and/or clean up.	0090009910
Buloke Shire Council	DONALD	22 (LOTS 40-45\LP8761) NAPIER ST	Former petroleum storage site. Requires assessment and/or clean up.	0090007710
Campaspe Shire Council	BAMAWM EXTENSION	1133 ECHUCA-MITIAMO RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090001745
Campaspe Shire Council	DIGGERA	ODONNELL RD	Former Landfill. Requires ongoing management.	0090006552

# PRIORITY SITES REGISTER

Information as at 30 September 2019

Municipality	Suburb	Address	Issue	Notice Number
Campaspe Shire Council	ECHUCA	436 MCKENZIE RD	Former Landfill. Requires ongoing management.	0090007220
Campaspe Shire Council	ECHUCA	176 - 190 OGILVIE AV	Former petroleum storage site. Requires assessment and/or clean up.	0090008435
Campaspe Shire Council	ECHUCA	110 - 112 STURT ST	Former Service Station. Requires ongoing management.	0090008471
Campaspe Shire Council	KYABRAM	Graham RD	Former Landfill. Requires ongoing management.	0090007207
Cardinia Shire Council	PAKENHAM	725 Five Mile Road	Former Landfill. Requires ongoing management.	0090003597
Cardinia Shire Council	PAKENHAM	725 Five Mile Road	Former Landfill. Requires ongoing management.	0090009837
Casey City Council	CRANBOURNE	Lot 7, 9, 10, 11 & 12 Stevensons Rd	Former Landfill. Requires ongoing management.	0090006965
Casey City Council	Narre Warren	former Narre Warren Landfill 184	Former Landfill. Requires ongoing management.	0090003600
Casey City Council	Narre Warren	former Narre Warren Landfill 184	Former Landfill. Requires ongoing management.	0090010222
Central Goldfields Shire Council	CARISBROOK	129 WILLIAMS RD	Former Landfill. Requires ongoing management.	0090006580
Central Goldfields Shire Council	Maryborough	82 (Lot 1\TP9631G) Sutton RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090009435
Central Goldfields Shire Council	MARYBOROUGH	53 - 55 HIGH ST	Current Service Station. Requires assessment and/or clean up.	0090005850
Central Goldfields Shire Council	TALBOT	5360 BALLARAT-MARYBOROUGH RD	Solid inert waste has been dumped at the site. Requires assessment and/or clean up.	0090009597
Colac-Otway Shire Council	COLAC	2 - 34 BRUCE ST	Former Landfill. Requires assessment and/or clean up.	0090010150
Colac-Otway Shire Council	COLAC	2 - 34 BRUCE ST	Former Landfill. Requires assessment and/or clean up.	0090010151
Corangamite Shire Council	GLENORMISTON	Terang-Mortlake RD	Former Landfill. Requires ongoing management.	0090003621
Corangamite Shire Council	GLENORMISTON	Terang-Mortlake RD	Former Landfill. Requires ongoing management.	0090003622
Corangamite Shire Council	TERANG	59 BEND RD	Current Industrial Site. Requires assessment and/or clean up.	0090007044
Corangamite Shire Council	TERANG	59 BEND RD	Current Industrial Site. Requires assessment and/or clean up.	0090007045
Darebin City Council	NORTHCOTE	LOT 1 LP124227 56 BRICKWORKS LANE	Former Landfill. Requires ongoing management.	0090003493
Darebin City Council	PRESTON	67 - 79 High ST	Former Service Station. Requires assessment and/or clean up.	0090001449
Darebin City Council	PRESTON	194 - 202 Bell ST	Former Industrial Site. Requires assessment and/or clean up.	0090006966
Darebin City Council	RESERVOIR	3B Newlands Road (formerly Lot 87 Newlands Rd) which includes 3A, rear 3B	Former Landfill. Requires ongoing management.	0090003508
East Gippsland Shire Council	BAIRNSDALE	68 GILES ST	Former Landfill. Requires ongoing management.	0090006577
East Gippsland Shire Council	ORBOST	44 SALISBURY ST	Former Service Station. Requires assessment and/or clean up.	0090008454
Frankston City Council	3200	CA 21089 CA 2006	Former Landfill. Requires ongoing management.	0090003594
Frankston City Council	3200	CA 21089 CA 2006	Former Landfill. Requires ongoing management.	0090009785
Frankston City Council	3200	CA 21089 CA 2006	Former Landfill. Requires ongoing management.	0090009786
Frankston City Council	LANGWARRIN	75 Quarry RD	Current landfill. Requires assessment and/or clean up.	0090009522
Glen Eira City Council	Caulfield South	724A glen Huntly RD	Contaminated soil is retained and managed onsite. Requires assessment and/or clean up.	0090010399
Glen Eira City Council	CAULFIELD SOUTH	818 Glen Huntly RD	Former Service Station. Requires ongoing management.	0090009502
Glen Eira City Council	MCKINNON	94 - 100 MCKINNON RD	Current Service Station. Requires assessment and/or clean up.	0090010039
Greater Bendigo City Council	California Gully	CA 269H, 115, 116, 117, 118, 119, Sec N Cnr Bright St & Wingoos Drive	Historical deposit of mine tailings. Requires assessment and/or clean up.	0090009604
Greater Bendigo City Council	California Gully	CA252B Sec N, Pearce St Parish of Sandhurst	Historical deposit of mine tailings. Requires assessment and/or clean up.	0090009641

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Municipality	Suburb	Address	Issue	Notice Number
Greater Bendigo City Council	CALIFORNIA GULLY	45 Sandhurst RD	Current Service Station. Requires assessment and/or clean up.	0090010085
Greater Bendigo City Council	EMU CREEK	463 EMU CREEK RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090010259
Greater Bendigo City Council	FLORA HILL	67 HAVLIN ST	Former Landfill. Requires ongoing management.	0090009138
Greater Bendigo City Council	HEATHCOTE	90 HIGH ST	Former Service Station. Requires assessment and/or clean up.	0090007629
Greater Bendigo City Council	HUNTLY	29 CAELLIS RD	Current Industrial Site. Requires assessment and/or clean up.	0090007149
Greater Bendigo City Council	Jackass Flat	CA 269N, Sec N & CA 2, Sec F11 Parish Sandhurst	Historical deposit of mine tailings. Requires assessment and/or clean up.	0090009599
Greater Bendigo City Council	Jackass Flat	Government Road south of CA 119, Sec N & Prouses Road between Bright St, south to	Historical deposit of mine tailings. Requires assessment and/or clean up.	0090009606
Greater Bendigo City Council	JACKASS FLAT	CA 269F & 269L, Section N Parish of Sandhurst, Averages Road	Historical deposit of mine tailings. Requires assessment and/or clean up.	0090009643
Greater Bendigo City Council	Maiden Gully	CA 64B, Parish of Sandhurst Sparrowhawk Road	Historical deposit of mine tailings. Requires assessment and/or clean up.	0090009608
Greater Bendigo City Council	MAIDEN GULLY	195 - 221 MARONG RD	Historical deposit of mine tailings. Requires assessment and/or clean up.	0090009609
Greater Bendigo City Council	North Bendigo	CA 2081 Parish of Sandhurst	Historical deposit of mine tailings. Requires ongoing management.	0090009821
Greater Bendigo City Council	West Bendigo	Liddell's Calcine Sands Derwent Gully Road	Historical deposit of mine tailings. Requires ongoing management.	0090007892
Greater Dandenong City Council	Bangholme	Cnr Thompson Road and Worsley Road	Current Industrial Site. Requires ongoing management.	0090007162
Greater Dandenong City Council	DANDENONG SOUTH	185 Dandenong-Hastings RD	Former Landfill. Requires ongoing management.	0090004214
Greater Dandenong City Council	DANDENONG SOUTH	Greens Road GREENS RD	Current waste water treatment plant. Requires ongoing management.	0090006097
Greater Dandenong City Council	SPRINGVALE	917 Princes HWY	Former Industrial Site. Requires ongoing management.	0090007482
Greater Dandenong City Council	SPRINGVALE	310 Springvale RD	Current Service Station. Requires assessment and/or clean up.	0090010415
Greater Dandenong City Council	Springvale South	98-100 Clarke Road	Former Landfill. Requires ongoing management.	0090007896
Greater Dandenong City Council	SPRINGVALE SOUTH	81 - 143 CLARKE RD	Former Landfill. Requires ongoing management.	0090000608
Greater Dandenong City Council	SPRINGVALE SOUTH	81 - 143 CLARKE RD	Former Landfill. Requires ongoing management.	0090003693
Greater Dandenong City Council	SPRINGVALE SOUTH	168-222 CLARKE ROAD	Former Landfill. Requires ongoing management.	0090006951
Greater Dandenong City Council	SPRINGVALE SOUTH	81 - 143 CLARKE RD	Former Landfill. Requires assessment and/or clean up.	0090008992
Greater Geelong City Council	BALLAN	1 6511 Western FWY	Current Service Station. Requires ongoing management.	0090006079
Greater Geelong City Council	Belmont	180 - 182 Barwon Heads RD	Former Service Station. Requires ongoing management.	0090009781
Greater Geelong City Council	BELMONT	180 - 182 Barwon Heads RD	Former Service Station. Requires ongoing management.	0090009284
Greater Geelong City Council	CONNEWARRE	1421 BARWON HEADS RD	Solid inert waste has been dumped at the site. Requires assessment and/or clean up.	0090009930
Greater Geelong City Council	CORIO	83 Purnell RD	Current Service Station. Requires ongoing management.	0090002343
Greater Geelong City Council	CORIO	1500 - 1580 BIDDLECOMBE AV	Former Landfill. Requires ongoing management.	0090004271
Greater Geelong City Council	CORIO	246 - 258 Princes HWY	Current petroleum storage site. Requires ongoing management.	0090006264
Greater Geelong City Council	CORIO	90 REFINERY RD	Current petroleum storage site. Requires ongoing management.	0090006483
Greater Geelong City Council	CORIO	Off Harpur RD	Former petroleum storage site. Requires ongoing management.	0090010189

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Municipality	Suburb	Address	Issue	Notice Number
Greater Geelong City Council	DRYSDALE	97 High ST	Current Service Station. Requires ongoing management.	0090001808
Greater Geelong City Council	EAST GEELONG	101 - 161 HEARNE PDE	Gun, pistol or rifle range. Requires assessment and/or clean up.	0090006642
Greater Geelong City Council	GEELONG NORTH	1 - 39 Roseneath ST	Former chemical storage facility. Requires assessment and/or clean up.	0090001664
Greater Geelong City Council	GEELONG WEST	34 - 38 GORDON AV	Former Industrial Site. Requires ongoing management.	0090009916
Greater Geelong City Council	LARA	Princes HWY	Accidental spill/leak (non-industrial site). Requires assessment and/or clean up.	0090001012
Greater Geelong City Council	MANIFOLD HEIGHTS	35 - 37 Shannon AV	Former petroleum storage site. Requires ongoing management.	0090010191
Greater Geelong City Council	MOOLAP	132 - 140 HAYS RD	Current Industrial Site. Requires ongoing management.	0090009865
Greater Geelong City Council	NORLANE	5 - 19 PRINCES HWY	Former Industrial Site. Requires assessment and/or clean up.	0090004126
Greater Geelong City Council	NORLANE	60 - 80 NORTH SHORE RD	Current Industrial Site. Requires assessment and/or clean up.	0090004132
Greater Geelong City Council	NORTH GEELONG	343 - 363 MELBOURNE RD	Former Industrial Site. Requires assessment and/or clean up.	0090004124
Greater Geelong City Council	NORTH SHORE	2 - 40 SEA BREEZE PDE	Current Industrial Site. Requires assessment and/or clean up.	0090010256
Greater Geelong City Council	POINT HENRY	420 Point Henry RD	Contaminated soil is retained and managed onsite. Requires ongoing management.	0090008914
Greater Geelong City Council	POINT HENRY	420 Point Henry RD	Former Industrial Site. Requires assessment and/or clean up.	0090009457
Greater Shepparton City Council	COSGROVE	205 COSGROVE-LEMNOS RD	Former Landfill. Requires ongoing management.	0090006807
Greater Shepparton City Council	MURCHISON	310 WOOLSHED RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090009822
Greater Shepparton City Council	Shepparton East	Lot 1 TP879282U Midland Highway	Illegal dumping. Requires assessment and/or clean up.	0090010181
Greater Shepparton City Council	SHEPPARTON EAST	35 SWAINSTON RD	Current chemical storage facility. Requires assessment and/or clean up.	0090009938
Greater Shepparton City Council	SHEPPARTON EAST	35 SWAINSTON RD	Illegal dumping. Requires ongoing management.	0090010065
Greater Shepparton City Council	SHEPPARTON NORTH	280 Daldy RD	Former Industrial Site. Requires assessment and/or clean up.	0090001776
Hepburn Shire Council	CRESWICK	C/A45a Section 48A Township of Creswick Parish of Creswick	Former Landfill. Requires ongoing management.	0090006899
Hepburn Shire Council	DAYLESFORD	47 RAGLAN ST	Current Service Station. Requires ongoing management.	0090008622
Hepburn Shire Council	TRENTHAM	10 STATION ST	Current Industrial Site. Requires assessment and/or clean up.	0090008722
Hobsons Bay City Council	ALTONA	401 - 435 Kororoit Creek RD	Current Industrial Site. Requires assessment and/or clean up.	0090003368
Hobsons Bay City Council	ALTONA	541 - 583 Kororoit Creek RD	Current Industrial Site. Requires assessment and/or clean up.	0090005374
Hobsons Bay City Council	ALTONA	25 LINNET ST	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090006781
Hobsons Bay City Council	ALTONA	351 - 381 MILLERS RD	Current Industrial Site. Requires ongoing management.	0090007005
Hobsons Bay City Council	ALTONA	351 - 381 MILLERS RD	Current petroleum storage site. Requires ongoing management.	0090008552
Hobsons Bay City Council	ALTONA	471 - 513 KOROROIT CREEK RD	Current Industrial Site. Requires assessment and/or clean up.	0090009008
Hobsons Bay City Council	ALTONA	521 - 537 Kororoit Creek RD	Former Industrial Site. Requires assessment and/or clean up.	0090009679
Hobsons Bay City Council	ALTONA MEADOWS	306 - 316 QUEEN ST	Current Service Station. Requires ongoing management.	0090006760
Hobsons Bay City Council	ALTONA NORTH	40 - 68 KYLE RD	Former Landfill. Requires ongoing management.	0090003527

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Municipality	Suburb	Address	Issue	Notice Number
Hobsons Bay City Council	ALTONA NORTH	400 - 498 Grieve PDE	Current Industrial Site. Requires assessment and/or clean up.	0090008356
Hobsons Bay City Council	ALTONA NORTH	2 NEW ST	Former Industrial Site. Requires assessment and/or clean up.	0090009060
Hobsons Bay City Council	BROOKLYN	Hardie RD	Former Landfill. Requires ongoing management.	0090003487
Hobsons Bay City Council	NEWPORT	411 DOUGLAS PDE	Current petroleum storage site. Requires assessment and/or clean up.	0090006881
Hobsons Bay City Council	NEWPORT	Underground Section Of Petroleum Pipelines That Run Under Champion Rd	Accidental spill/leak (non-industrial site). Requires assessment and/or clean up.	0090006968
Hobsons Bay City Council	SPOTSWOOD	144 - 150 HALL ST	Current Industrial Site. Requires assessment and/or clean up.	0090003301
Hobsons Bay City Council	SPOTSWOOD	512 - 578 Melbourne RD	Railway yard. Requires ongoing management.	0090005636
Hobsons Bay City Council	SPOTSWOOD	39 - 81 BURLEIGH ST	Current Industrial Site. Requires ongoing management.	0090008619
Hobsons Bay City Council	YARRAVILLE	29 FRANCIS STREET	Current petroleum storage site. Requires ongoing management.	0090007570
Horsham Rural City Council	Horsham	Lot 1 TP894637 Parish of Horsham	Former petroleum storage site. Requires assessment and/or clean up.	0090009145
Horsham Rural City Council	HORSHAM	15 - 17 MILL ST	Former petroleum storage site. Requires assessment and/or clean up.	0090009146
Horsham Rural City Council	Longerenong	Corner of West and Centre Roads	Current Industrial Site. Requires assessment and/or clean up.	0090007170
Hume City Council	ATTWOOD	7 SAINSBURY CT	Illegal dumping. Requires assessment and/or clean up.	0090008272
Hume City Council	BULLA	315 Loemans RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090000177
Hume City Council	BULLA	500 SUNBURY RD	Current landfill. Requires ongoing management.	0090008885
Hume City Council	BULLA	500 SUNBURY RD	Current landfill. Requires ongoing management.	0090010148
Hume City Council	CAMPBELLFIELD	468 - 472 MAHONEY'S RD	Former Landfill. Requires ongoing management.	0090003496
Hume City Council	CAMPBELLFIELD	1-71 & 2-70 BOLINDA RD	Former Landfill. Requires ongoing management.	0090007850
Hume City Council	CAMPBELLFIELD	1735 Sydney RD	Current Industrial Site. Requires assessment and/or clean up.	0090008237
Hume City Council	CAMPBELLFIELD	166 Northbourne RD	Current Industrial Site. Requires assessment and/or clean up.	0090008413
Hume City Council	CAMPBELLFIELD	16 - 18 THORNYCROFT ST	Current chemical storage facility. Requires assessment and/or clean up.	0090009826
Hume City Council	CAMPBELLFIELD	16 - 18 THORNYCROFT ST	Current chemical storage facility. Requires assessment and/or clean up.	0090010248
Hume City Council	COOLAROO	75 - 77 MAFFRA ST	Solid inert waste has been dumped at the site. Requires assessment and/or clean up.	0090010370
Hume City Council	CRAIGIEBURN	61 - 151 CRAIGIEBURN RD	Former Landfill. Requires ongoing management.	0090003107
Hume City Council	CRAIGIEBURN	61 - 151 CRAIGIEBURN RD	Former Landfill. Requires ongoing management.	0090003475
Hume City Council	DIGGERS REST	205 BULLA-DIGGERS REST RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090007300
Hume City Council	Greenvale	Mitchell Lasry Quarry 555 Mickleham Road	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090007757
Hume City Council	KEILOR	145 Annandale RD	Former Landfill. Requires ongoing management.	0090007798
Hume City Council	MELBOURNE AIRPORT	206 - 300 WESTERN AV	Former Landfill. Requires ongoing management.	0090004621
Hume City Council	SOMERTON	70 CLIFFORDS RD	Current Industrial Site. Requires ongoing management.	0090007724
Hume City Council	SUNBURY	45 - 55 DEVERALL RD	Illegal dumping. Requires assessment and/or clean up.	0090005274
Hume City Council	SUNBURY	53 - 55 HORNE ST	Current Service Station. Requires assessment and/or clean up.	0090009620
Hume City Council	WILDWOOD	275 KONAGADERRA RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090006247
Kingston City Council	ASPENDALE	105 NEPEAN HWY	Former Service Station. Requires assessment and/or clean up.	0090009807

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Municipality	Suburb	Address	Issue	Notice Number
Kingston City Council	CHELSEA	84 - 130 THAMES PROM	Former Landfill. Requires ongoing management.	0090003613
Kingston City Council	Cheltenham	2-6 Railway Road	Former Industrial Site. Requires ongoing management.	0090008070
Kingston City Council	CHELTENHAM	1228 NEPEAN HWY	Former Industrial Site. Requires ongoing management.	0090009112
Kingston City Council	CHELTENHAM	5 - 13 ELMA RD	Current Industrial Site. Requires assessment and/or clean up.	0090009240
Kingston City Council	CLAYTON SOUTH	8 Elder ST	Former Landfill. Requires ongoing management.	0090003610
Kingston City Council	CLAYTON SOUTH	Cnr Deals RD & Heatherton RD	Former Landfill. Requires ongoing management.	0090006972
Kingston City Council	CLAYTON SOUTH	654 - 718 CLAYTON RD	Former Landfill. Requires ongoing management.	0090007014
Kingston City Council	CLAYTON SOUTH	Cnr Clayton & Ryans RDS	Former Landfill. Requires ongoing management.	0090007125
Kingston City Council	CLAYTON SOUTH	FRASER RD	Former Landfill. Requires assessment and/or clean up.	0090007756
Kingston City Council	CLAYTON SOUTH	FRASER RD	Former Landfill. Requires ongoing management.	0090008726
Kingston City Council	CLAYTON SOUTH	623-633 HEATHERTON ROAD, CLAYTON SOUTH VIC 3169	Former Landfill. Requires ongoing management.	0090008747
Kingston City Council	CLAYTON SOUTH	1486 - 1550 CENTRE RD	Former Industrial Site. Requires ongoing management.	0090009073
Kingston City Council	CLAYTON SOUTH	RYANS and DEALS RD	Former Landfill. Requires ongoing management.	0090009103
Kingston City Council	CLAYTON SOUTH	Cnr Deals RD & Heatherton RD	Former Landfill. Requires ongoing management.	0090009156
Kingston City Council	CLAYTON SOUTH	654 - 718 CLAYTON RD	Former Landfill. Requires assessment and/or clean up.	0090009525
Kingston City Council	DINGLEY	370 - 418 Old Dandenong RD	Former Landfill. Requires ongoing management.	0090008100
Kingston City Council	Dingley Village	Spring Road & Rowan Road DINGLEY VILLAGE VIC 3172	Former Landfill. Requires ongoing management.	0090007189
Kingston City Council	DINGLEY VILLAGE	Spring Road & Rowan Road DINGLEY VILLAGE VIC 3172	Former Landfill. Requires assessment and/or clean up.	0090003857
Kingston City Council	HEATHERTON	16 BALL RD	Former Landfill. Requires ongoing management.	0090008425
Kingston City Council	HEATHERTON	Crn Henry Street and Old Dandenong Road	Former Landfill. Requires ongoing management.	0090008924
Kingston City Council	HEATHERTON	Crn Henry Street and Old Dandenong Road	Former Landfill. Requires assessment and/or clean up.	0090009102
Kingston City Council	HEATHERTON	91 - 185 KINGSTON RD	Contaminated soil is retained and managed onsite. Requires assessment and/or clean up.	0090009562
Kingston City Council	MOORABBIN	1 10 Ebdon ST	Former Industrial Site. Requires ongoing management.	0090002273
Kingston City Council	MOORABBIN	422 - 424 SOUTH RD	Current Service Station. Requires assessment and/or clean up.	0090010030
Kingston City Council	MOORABBIN	57 KEYS RD	Current chemical storage facility. Requires assessment and/or clean up.	0090010462
Kingston City Council	OAKLEIGH SOUTH	19-71 CARROLL RD	Former Landfill. Requires ongoing management.	0090007021
Kingston City Council	OAKLEIGH SOUTH	19-71 CARROLL RD	Former Landfill. Requires assessment and/or clean up.	0090010298
Knox City Council	BAYSWATER	836 Mountain HWY	Current chemical storage facility. Requires assessment and/or clean up.	0090009209
Knox City Council	WANTIRNA	750 BORONIA RD	Illegal dumping. Requires assessment and/or clean up.	0090008817
Knox City Council	WANTIRNA SOUTH	1180 HIGH STREET RD 251 GEORGE ST	Former Landfill. Requires ongoing management.	0090006480
Knox City Council	WANTIRNA SOUTH	14 COPPELIA ST	Former Landfill. Requires ongoing management.	0090007017
Latrobe City Council	HAZELWOOD	Brodribb RD	Former Industrial Site. Requires assessment and/or clean up.	0090010255
Latrobe City Council	HAZELWOOD	Brodribb RD	Former Industrial Site. Requires assessment and/or clean up.	0090010271
Latrobe City Council	HAZELWOOD	Brodribb RD	Former Industrial Site. Requires assessment and/or clean up.	0090010272
Latrobe City Council	HAZELWOOD	Brodribb RD	Former Industrial Site. Requires assessment and/or clean up.	0090010273
Latrobe City Council	Hazelwood North	Lot 2, PS533418 Monash Way	Illegal dumping. Requires assessment and/or clean up.	0090008833

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Municipality	Suburb	Address	Issue	Notice Number
Latrobe City Council	Hernes Oak	SPI : 9L\PP3273 PFI : 52587509	Former Landfill. Requires ongoing management.	0090007200
Latrobe City Council	MORWELL	Lot RES1 PS449978 MARYVALE ROAD	Former Landfill. Requires ongoing management.	0090007555
Latrobe City Council	MORWELL	145 - 147 PRINCES DR	Former Service Station. Requires assessment and/or clean up.	0090008958
Latrobe City Council	MORWELL	412 COMMERCIAL RD	Former Industrial Site. Requires assessment and/or clean up.	0090010035
Latrobe City Council	TRARALGON	23 - 25 SHAKESPEARE ST	Current Service Station. Requires assessment and/or clean up.	0090010182
Latrobe City Council	TRARALGON	130 - 132 SEYMOUR ST	Former Industrial Site. Requires assessment and/or clean up.	0090010339
Latrobe City Council	TRARALGON SOUTH	Loy Yang B3/4 Bartons Lane	Ash pond with a Groundwater Attenuation Zone. Requires ongoing management.	0090002894
Loddon Shire Council	YARRAWALLA	413 YARRAWALLA WEST RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090010146
Macedon Ranges Shire Council	BULLENGAROOK	531 Hobbs RD	Former Landfill. Requires ongoing management.	0090006708
Macedon Ranges Shire Council	GISBORNE	9 STATION RD	Former petroleum storage site. Requires assessment and/or clean up.	0090008336
Macedon Ranges Shire Council	KYNETON	Redesdale (Lot 24D\PP2979) RD	Former Landfill. Requires ongoing management.	0090006370
Macedon Ranges Shire Council	KYNETON	2 PIPER ST	Former Service Station. Requires ongoing management.	0090009675
Macedon Ranges Shire Council	Kyneton South	450 Central RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090010369
Macedon Ranges Shire Council	LANCEFIELD	Baynton (Lot 16 LP208950) RD	Former Landfill. Requires ongoing management.	0090005294
Macedon Ranges Shire Council	LANCEFIELD	SHOWLERS LANE ROAD RESERVE	Former Landfill. Requires ongoing management.	0090010270
Macedon Ranges Shire Council	ROMSEY	2 33 MAIN ST	Current Service Station. Requires assessment and/or clean up.	0090005361
Manningham City Council	PARK ORCHARDS	20 - 26 STINTONS RD	Illegal dumping. Requires assessment and/or clean up.	0090005987
Manningham City Council	PARK ORCHARDS	20 - 26 STINTONS RD	Illegal dumping. Requires assessment and/or clean up.	0090005988
Manningham City Council	PARK ORCHARDS	20 - 26 STINTONS RD	Illegal dumping. Requires assessment and/or clean up.	0090005989
Manningham City Council	PARK ORCHARDS	20 - 26 STINTONS RD	Illegal dumping. Requires assessment and/or clean up.	0090006690
Mansfield Shire Council	MANSFIELD	Monkey Gully RD	Former Landfill. Requires ongoing management.	0090007633
Maribyrnong City Council	3012	1 AMANDA RD TOTTENHAM	Current chemical storage facility. Requires ongoing management.	0090009424
Maribyrnong City Council	BRAYBROOK	30 - 38 SOUTH RD	Former Industrial Site. Requires assessment and/or clean up.	0090010277
Maribyrnong City Council	FOOTSCRAY	LOTS 1 AND 2 ON TITLE PLAN 606602F (FARNSWORTH AVE)	Former Landfill. Requires ongoing management.	0090008310
Maribyrnong City Council	MAIDSTONE	9 - 15 WILLIAMSON RD	Former Industrial Site. Requires assessment and/or clean up.	0090003767
Maribyrnong City Council	MAIDSTONE	9 - 15 WILLIAMSON RD	Former Industrial Site. Requires assessment and/or clean up.	0090009654
Maribyrnong City Council	TOTTENHAM	550 GEELONG RD	Former Industrial Site. Requires assessment and/or clean up.	0090002056
Maribyrnong City Council	TOTTENHAM	550 GEELONG RD	Illegal dumping. Requires assessment and/or clean up.	0090004455
Maribyrnong City Council	TOTTENHAM	420 Somerville Road	Former Industrial Site. Requires assessment and/or clean up.	0090009472
Maribyrnong City Council	TOTTENHAM	LOT 2 102 OLYMPIA STREET	Current Industrial Site. Requires assessment and/or clean up.	0090010365
Maribyrnong City Council	TOTTENHAM	LOT 2 102 OLYMPIA STREET	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090010366
Maribyrnong City Council	WEST FOOTSCRAY	1 - 19 Graingers RD	Former chemical storage facility. Requires assessment and/or clean up.	0090006322

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Municipality	Suburb	Address	Issue	Notice Number
Maribyrnong City Council	YARRAVILLE	1 - 3 High ST	Former Industrial Site. Requires ongoing management.	0090000134
Maribyrnong City Council	YARRAVILLE	221 Whitehall ST	Former Industrial Site. Requires ongoing management.	0090003331
Maribyrnong City Council	YARRAVILLE	325 WHITEHALL STREET	Former Industrial Site. Requires assessment and/or clean up.	0090006664
Maribyrnong City Council	YARRAVILLE	325 WHITEHALL STREET	Former Industrial Site. Requires assessment and/or clean up.	0090008694
Maribyrnong City Council	YARRAVILLE	2A FRANCIS ST	Former Industrial Site. Requires assessment and/or clean up.	0090009551
Maroondah City Council	RINGWOOD	385 - 389 CANTERBURY RD	Current Service Station. Requires ongoing management.	0090006274
Maroondah City Council	RINGWOOD EAST	18 Mount Dandenong RD	Current Service Station. Requires ongoing management.	0090008258
Melbourne City Council	CARLTON	46-78 Bouverie Street 185-195 Queensberry Street	Former Industrial Site. Requires assessment and/or clean up.	0090008725
Melbourne City Council	CARLTON	46-78 Bouverie Street 185-195 Queensberry Street	Former Industrial Site. Requires assessment and/or clean up.	0090008997
Melbourne City Council	KENSINGTON	71 - 89 HOBSONS RD	Contaminated soil is retained and managed onsite. Requires assessment and/or clean up.	0090007064
Melbourne City Council	Melbourne	447 Collins Street	Accidental spill/leak (non-industrial site). Requires assessment and/or clean up.	0090008808
Melbourne City Council	NORTH MELBOURNE	233 - 239 FLEMINGTON RD	Current Service Station. Requires assessment and/or clean up.	0090008723
Melbourne City Council	PORT MELBOURNE	2 WEST GATE FWY	Current Service Station. Requires assessment and/or clean up.	0090007492
Melbourne City Council	PORT MELBOURNE	1 WEST GATE FWY	Current Service Station. Requires assessment and/or clean up.	0090007721
Melbourne City Council	PORT MELBOURNE	226 LORIMER ST	Contaminated soil is retained and managed onsite. Requires assessment and/or clean up.	0090008042
Melbourne City Council	TRUGANINA	8 Nicholson Street East Melbourne	Former Landfill. Requires ongoing management.	0090009751
Melton Shire Council	COBBLEBANK	28 - 52 FERRIS RD	Former Landfill. Requires ongoing management.	0090005053
Melton Shire Council	COBBLEBANK	43 - 67 FERRIS RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090008182
Melton Shire Council	PLUMPTON	627 - 703 PLUMPTON RD	Solid inert waste has been dumped at the site. Requires assessment and/or clean up.	0090003893
Melton Shire Council	PLUMPTON	627 - 703 PLUMPTON RD	Illegal dumping. Requires assessment and/or clean up.	0090004146
Melton Shire Council	RAVENHALL	714 Christies Road and 227 Riding Boundary Road RIDING BOUNDARY ROAD	Current landfill. Requires ongoing management.	0090009120
Mildura Rural City Council	KOORLONG	Twentieth ST	Former Landfill. Requires ongoing management.	0090005267
Mildura Rural City Council	KOORLONG	4463 BENETOOK AV	Solid inert waste has been dumped at the site. Requires assessment and/or clean up.	0090009260
Mildura Rural City Council	MILDURA	220 - 222 TENTH ST	Former petroleum storage site. Requires assessment and/or clean up.	0090005846
Mildura Rural City Council	MILDURA	211 - 217 NINTH ST	Former petroleum storage site. Requires ongoing management.	0090009396
Mildura Rural City Council	MILDURA	13 SCHERGER DR	Current landfill. Requires ongoing management.	0090010173
Mildura Rural City Council	WERRIMULL	ALLOTMENT 5 PARISH OF MURRNROONG KING STREET	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090009110
Mitchell Shire Council	BROADFORD	High ST	Former Landfill. Requires ongoing management.	0090003542
Mitchell Shire Council	SEYMOUR	Lot 1\TP41415 HUME AND HOVELL ROAD	Former Landfill. Requires ongoing management.	0090007542
Mitchell Shire Council	Wallan East	LOT Z PS 818938 Newbridge Subdivision	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090009466
Moira Shire Council	NUMURKAH	Parish Of Katunga C/a 14 Sect D Naring Rd	Former Landfill. Requires ongoing management.	0090007551
Moira Shire Council	YARRAWONGA	81 Channel RD	Former Landfill. Requires ongoing management.	0090008056

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Municipality	Suburb	Address	Issue	Notice Number
Monash City Council	CLAYTON	1555 - 1615 CENTRE RD	Current Industrial Site. Requires assessment and/or clean up.	0090009962
Monash City Council	GLEN WAVERLEY	310 - 336 SPRINGVALE RD	Current Industrial Site. Requires ongoing management.	0090006390
Monash City Council	OAKLEIGH EAST	108 - 112 FERNTREE GULLY RD	Former Landfill. Requires ongoing management.	0090006175
Moonee Valley City Council	ASCOT VALE	556 MT ALEXANDER RD	Current Service Station. Requires ongoing management.	0090007960
Moorabool Shire Council	FISKVILLE	4549 Geelong-Ballan RD	Contaminated soil is retained and managed onsite. Requires assessment and/or clean up.	0090009700
Moorabool Shire Council	MADDINGLEY	1 PS908919 Side Of Kerrs RD	Former Landfill. Requires ongoing management.	0090003631
Moreland City Council	BRUNSWICK	699-701 PARK STREET, 2-4 SYDNEY ROAD 182, 184-186, 188 AND 190-192 BRUNSWICK	Former Industrial Site. Requires assessment and/or clean up.	0090008501
Moreland City Council	BRUNSWICK	225 and 227-231 Barkly Street and 1-77 Amelia Street	Former Industrial Site. Requires ongoing management.	0090009119
Moreland City Council	BRUNSWICK EAST	4 - 6 BARKLY ST	Former Industrial Site. Requires assessment and/or clean up.	0090009126
Moreland City Council	COBURG	36-38 CHARLES ST	Former petroleum storage site. Requires assessment and/or clean up.	0090010379
Moreland City Council	COBURG NORTH	46 - 54 Newlands RD	Current Service Station. Requires ongoing management.	0090009742
Mornington Peninsula Shire Council	CRIB POINT	2 Lens ST	Former Landfill. Requires ongoing management.	0090003619
Mornington Peninsula Shire Council	CRIB POINT	2 Lens ST	Former Landfill. Requires ongoing management.	0090010060
Mornington Peninsula Shire Council	DROMANA	107 - 109 POINT NEPEAN RD	Current petroleum storage site. Requires assessment and/or clean up.	0090008942
Mornington Peninsula Shire Council	HASTINGS	33 CEMETERY RD	Current petroleum storage site. Requires assessment and/or clean up.	0090010009
Mornington Peninsula Shire Council	MOUNT ELIZA	254-450 MOOROODUC HWY	Former Landfill. Requires ongoing management.	0090000477
Mornington Peninsula Shire Council	MOUNT ELIZA	254-450 MOOROODUC HWY	Former Landfill. Requires ongoing management.	0090003744
Mornington Peninsula Shire Council	RED HILL	87 Arthurs Seat RD	Current Service Station. Requires assessment and/or clean up.	0090009981
Mornington Peninsula Shire Council	ROSEBUD WEST	119 Truemans RD	Former Landfill. Requires ongoing management.	0090003616
Mornington Peninsula Shire Council	TUERONG	435 BALNARRING RD	Current landfill. Requires ongoing management.	0090007893
Mornington Peninsula Shire Council	TYABB	15-21 MCKIRDYS RD	Former Landfill. Requires ongoing management.	0090007677
Mount Alexander Shire Council	Castlemaine	74 Tomkies Road Lane	Contaminated soil is retained and managed onsite. Requires ongoing management.	0090004156
Moyne Shire Council	ALLANSFORD	5331 Great Ocean RD	Current Industrial Site. Requires ongoing management.	0090004322
Moyne Shire Council	PORT FAIRY	Badhams LANE	Former Landfill. Requires ongoing management.	0090003625
Nillumbik Shire Council	KANGAROO GROUND	105 GRAHAM RD	Former Landfill. Requires ongoing management.	0090007781
Nillumbik Shire Council	YARRAMBAT	290 - 304 Yan Yean RD	Former Landfill. Requires ongoing management.	0090007767
Northern Grampians Shire Council	Stawell	Crown Allotment 136K Parish of Illawarra	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090006261
Port Phillip City Council	PORT MELBOURNE	337 WILLIAMSTOWN RD	Former petroleum storage site. Requires assessment and/or clean up.	0090008757
South Gippsland Shire Council	AGNES	614 BARRY RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090009029
South Gippsland Shire Council	FOSTER	4090 SOUTH GIPPSLAND HWY	Former Landfill. Requires ongoing management.	0090008734
South Gippsland Shire Council	LEONGATHA SOUTH	630 ROUGHHEADS RD	Former Landfill. Requires ongoing management.	0090006475
Strathbogie Shire Council	VIOLET TOWN	190 Mcdiarmids RD	Former Landfill. Requires ongoing management.	0090008902

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Municipality	Suburb	Address	Issue	Notice Number
Surf Coast Shire Council	ANGLESEA	CAMP RD	Former Industrial Site. Requires assessment and/or clean up.	0090006380
Surf Coast Shire Council	Winchelsea	84 Hopkins Street CA 33 Township of Winchelsea	Gun, pistol or rifle range. Requires assessment and/or clean up.	0090008921
Surf Coast Shire Council	Winchelsea	84 Hopkins Street CA 33 Township of Winchelsea	Gun, pistol or rifle range. Requires assessment and/or clean up.	0090008985
Swan Hill Rural City Council	Swan Hill	3 Hastings Street	Former petroleum storage site. Requires assessment and/or clean up.	0090006980
Swan Hill Rural City Council	SWAN HILL	5 - 7 HASTINGS ST	Former petroleum storage site. Requires assessment and/or clean up.	0090010176
Towong Shire Council	BETHANGA	4 MARTIN ST	Former Landfill. Requires ongoing management.	0090003554
Wangaratta Rural City Council	North Wangaratta	21 Detour Rd (Lot 1 PS 423200)	Gun, pistol or rifle range. Requires assessment and/or clean up.	0090010395
Wangaratta Rural City Council	WANGARATTA SOUTH	99 SHANLEY ST	Current Industrial Site. Requires assessment and/or clean up.	0090007165
Warrnambool City Council	WARRNAMBOOL	Braithwaite ST	Former Landfill. Requires ongoing management.	0090007563
Warrnambool City Council	WARRNAMBOOL	16 ALBERT ST	Current Industrial Site. Requires assessment and/or clean up.	0090010501
Wellington Shire Council	DUTSON	1950 Longford-Loch Sport Road	Current Industrial Site. Requires assessment and/or clean up.	0090010183
Wellington Shire Council	HEYFIELD	Lot 2 LP131215 TYSON ROAD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090010069
Wellington Shire Council	KILMANY	Lot 1 & Part Lot 2 LP79840 Parish of Wooun Dellah	Current landfill. Requires ongoing management.	0090009815
Wellington Shire Council	LONGFORD	GARRETT'S RD	Current Industrial Site. Requires assessment and/or clean up.	0090008496
Wellington Shire Council	LONGFORD	GARRETT'S RD	Current Industrial Site. Requires assessment and/or clean up.	0090008551
Wellington Shire Council	MAFFRA	95 SELLINGS RD	Current landfill. Requires ongoing management.	0090009831
Wellington Shire Council	MAFFRA	87 POWERSCOURT ST	Current Service Station. Requires assessment and/or clean up.	0090010447
Wellington Shire Council	SALE	2-14 McMillan Street	Former Industrial Site. Requires assessment and/or clean up.	0090009164
Wellington Shire Council	WEST SALE	Cnr Princes Highway and Sale-Cowarr Road	Current Industrial Site. Requires ongoing management.	0090007151
Wellington Shire Council	YARRAM	5507 HYLAND HWY	Former Landfill. Requires ongoing management.	0090003055
West Wimmera Shire Council	Kaniva	Crown Allotment 11 Parish of Beewar	Illegal dumping. Requires assessment and/or clean up.	0090010326
West Wimmera Shire Council	PATYAH	VOLUME 09918 FOLIO 873 CROWN ALLOTMENT 105	Illegal dumping. Requires assessment and/or clean up.	0090010062
Whitehorse City Council	BOX HILL	14 Federation ST	Former Landfill. Requires ongoing management.	0090003499
Whittlesea City Council	EPPING	480 COOPER STREET LOT 1 PS504515	Former Landfill. Requires ongoing management.	0090003490
Whittlesea City Council	EPPING	490 COOPER ST	Former Landfill. Requires ongoing management.	0090003502
Whittlesea City Council	EPPING	490 COOPER ST	Former Landfill. Requires ongoing management.	0090010155
Whittlesea City Council	EPPING	490 COOPER ST	Former Landfill. Requires ongoing management.	0090010156
Whittlesea City Council	EPPING	490 COOPER ST	Former Landfill. Requires ongoing management.	0090010157
Whittlesea City Council	EPPING	480 COOPER STREET LOT 1 PS504515	Former Landfill. Requires ongoing management.	0090010159
Whittlesea City Council	EPPING	480 COOPER STREET LOT 1 PS504515	Former Landfill. Requires ongoing management.	0090010160
Whittlesea City Council	EPPING	480 COOPER STREET LOT 1 PS504515	Former Landfill. Requires ongoing management.	0090010161
Whittlesea City Council	EPPING	335 OHERNS RD LOT 1 TP102498	Former Landfill. Requires ongoing management.	0090010162
Whittlesea City Council	EPPING	335 OHERNS RD LOT 1 TP102498	Former Landfill. Requires ongoing management.	0090010163
Whittlesea City Council	THOMASTOWN	338 - 342 SETTLEMENT RD	Former petroleum storage site. Requires ongoing management.	0090007336
Whittlesea City Council	WHITTLESEA	125 HOLTS RD	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090006944

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Municipality	Suburb	Address	Issue	Notice Number
Whittlesea City Council	WOLLERT	585 SUMMERHILL RD	Contaminated soil is retained and managed onsite. Requires assessment and/or clean up.	0090009575
Wodonga Rural City Council	WODONGA	3437 Beechworth-Wodonga RD	Former Landfill. Requires ongoing management.	0090003548
Wodonga Rural City Council	WODONGA	CARROLLS LANE LOT 1TP423757	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090008268
Wodonga Rural City Council	WODONGA	CARROLLS LANE LOT 1TP423757	Industrial waste has been dumped at the site. Requires assessment and/or clean up.	0090009546
Wyndham City Council	LAVERTON NORTH	65 LEAKES RD	Current Industrial Site. Requires assessment and/or clean up.	0090006945
Wyndham City Council	LAVERTON NORTH	103 - 105 Pipe RD	Current Industrial Site. Requires assessment and/or clean up.	0090007881
Wyndham City Council	LAVERTON NORTH	19 LITTLE BOUNDARY RD	Current Industrial Site. Requires ongoing management.	0090008784
Wyndham City Council	LAVERTON NORTH	25 LITTLE BOUNDARY RD	Current Industrial Site. Requires assessment and/or clean up.	0090009011
Wyndham City Council	LITTLE RIVER	490 EDGARS RD	Illegal dumping. Requires assessment and/or clean up.	0090004276
Yarra City Council	COLLINGWOOD	65 - 69 KEELE ST	Current Service Station. Requires assessment and/or clean up.	0090010217
Yarra Ranges Shire Council	KILSYTH	2 76 Fussell RD	Former Industrial Site. Requires assessment and/or clean up.	0090009524
West Wimmera Shire Council	KANIVA	Crown Allotment 11 Parish of Beevar Volume 09811 Folio 411 Kaniva-Edenhope RD	Potentially contaminated site currently under investigation. Required assessment and likely cleanup/management.	N/A